

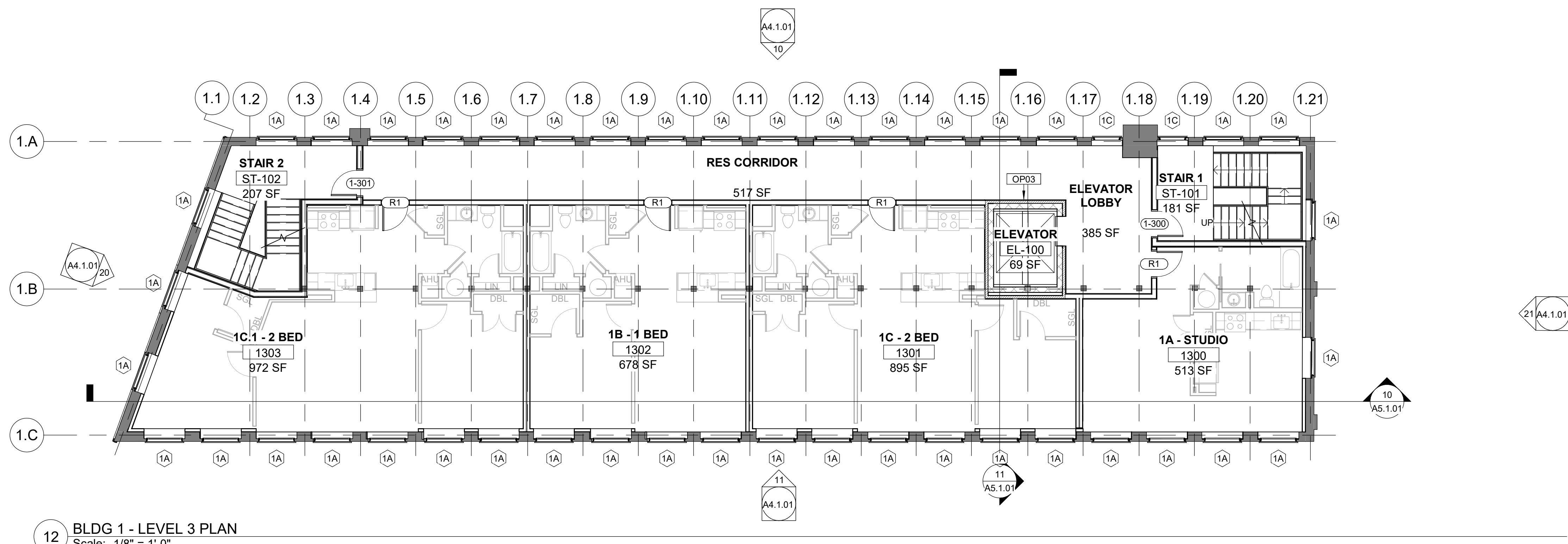
BUILDING 1 - 35 LAGRANGE				
	TYPE	BED	BATH	GSF
FLOOR 1	1C.2	2	2	1057
	1B	1	1	662
	1C	2	1	872
	1B.1	1	1	760
FLOOR 2	1C.1	2	1	952
	1B	1	1	671
	1C	2	1	884
	1A	STUDIO	1	503
FLOOR 3	1C	2	1	895
	1C.1	2	1	972
	1B	1	1	678
	1A	STUDIO	1	514
FLOOR 4	1C.1	2	1	958
	1B	1	1	679
	1C	2	1	895
	1A	STUDIO	1	514
UNIT TOTAL				12,466
BUILDING TOTAL				18,588

GENERAL NOTES - OVERALL PLANS

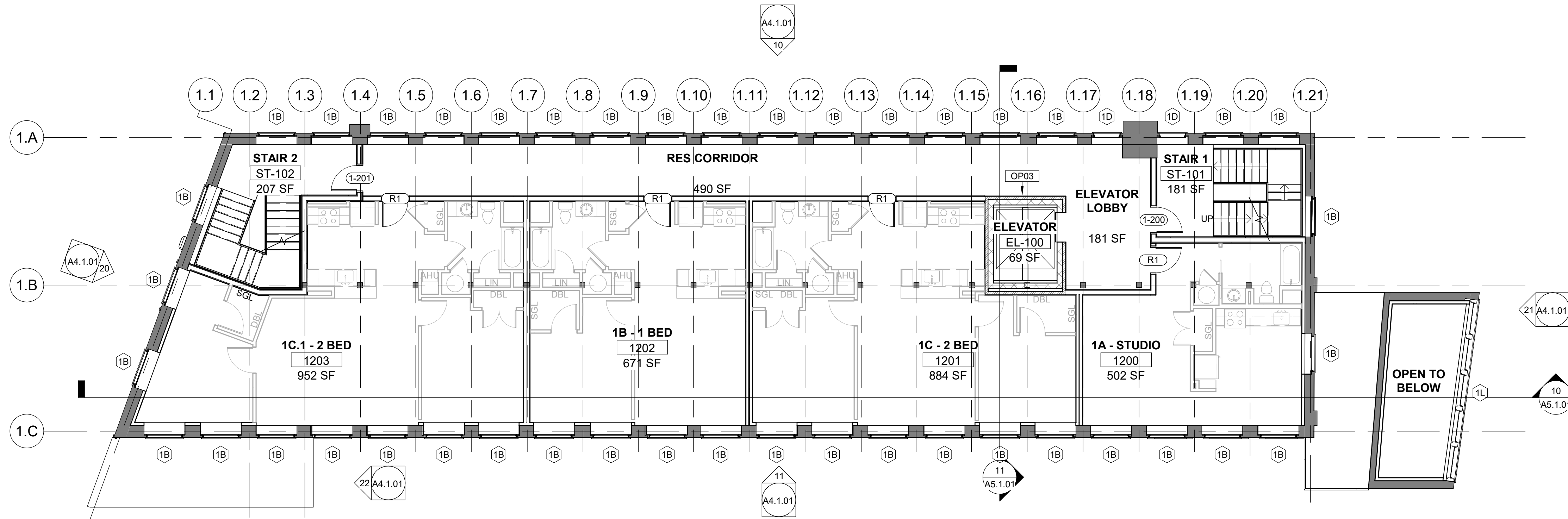
- A. FIELD VERIFY ALL EXISTING CONDITIONS. VERIFY ACTUAL SITE CONDITIONS AND DIMENSIONS. COORDINATE SCOPE OF WORK WITH ALL TRADES.
- B. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, INTERIOR BRICK MASONRY WALLS SHALL BE REPAIRED AND LEFT EXPOSED. AREAS OF CHIEF CONCERN WILL BE PUBLIC AREAS & APARTMENT LIVING AREAS. OF LESSER CONCERN WILL BE WALLS IN BATHROOMS, KITCHENS, & CLOSETS. WHERE PAINTED FINISHES ARE PRESENT, THESE ARE TO BE RESTORED TO THEIR ORIGINAL APPEARANCE WITH METHODS APPROVED BY NPS. FOR ENERGY CONSERVATION, EXTERIOR WALLS IN BEDROOMS, BATHROOMS, & CLOSETS WILL BE FURRED TO A MAXIMUM OF 4", UNLESS OTHERWISE NOTED.
- C. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING CONCRETE FLOORS WILL BE RETAINED. WHERE POSSIBLE, THESE SHALL BE POLISHED AND LEFT EXPOSED IN THEIR NATURAL STATE. WHERE CONDITIONS CANNOT BE IMPROVED, A NEW FLOORING FINISH WILL BE PROVIDED AS TO NOT DAMAGE THE EXISTING CONCRETE.
- D. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING WOOD FLOORS AT GROUND LEVEL WILL BE RETAINED, LIGHTLY SANDED, AND SEALED WITH A CLEAR PROTECTIVE FINISH. WHERE CONDITIONS CANNOT BE IMPROVED, NEW REPLACEMENT WOOD FLOORING WILL BE PROVIDED.
- E. FOR ACOUSTIC PURPOSES, EXISTING WOOD FLOORING AT ALL LEVELS ABOVE GROUND FLOOR WILL BE COVERED IN AN ACOUSTIC MAT AND POURED CEMENTICIOUS TOPPING. NEW FLOORING FINISH TO VARY. REFER TO FINISH SCHEDULE.
- F. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING COLUMNS, BEAMS, AND UNDERSIDE OF WOOD DECKING WILL BE RESTORED USING METHODS APPROVED BY THE NPS AND SEALED WITH A CLEAR PROTECTIVE SEALANT. EXPOSED STRUCTURAL COMPONENTS WILL BE CLEANED AND PREPPED TO RECEIVE AN OPAQUE, PAINTED FINISH.

KEYNOTE LEGEND - OVERALL PLANS

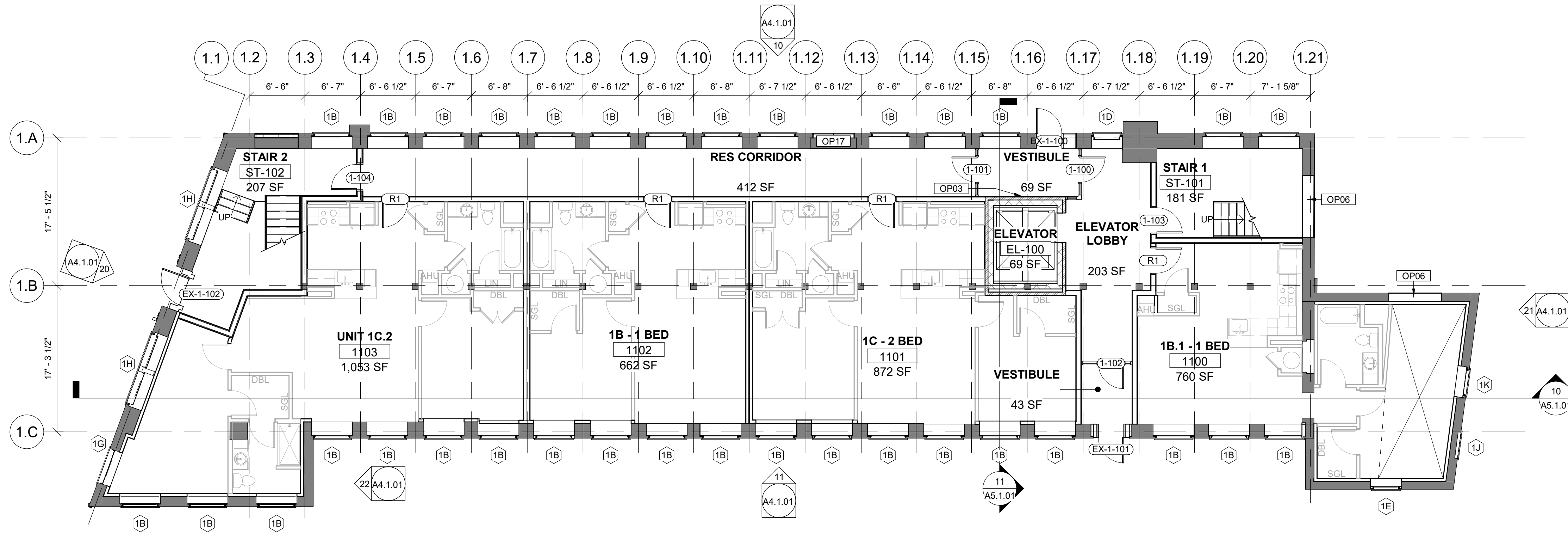
- OP03 EXISTING FREIGHT ELEVATOR DOORS TO BE CLEANED, PREPPED AND INSTALLED AT NEW LOCATION.
- OP06 EXISTING OPENING TO RECEIVE MASONRY INFILL SET BACK WITH A 1" EXTERIOR REVEAL.
- OP17 HISTORIC DOOR REPLICA TO BE PINNED IN CLOSED POSITION. WALL TO BE INSULATED AND FURRED AT INTERIOR.



12 BLDG 1 - LEVEL 3 PLAN
 Scale: 1/8" = 1'-0"



11 BLDG 1 - LEVEL 2 PLAN
 Scale: 1/8" = 1'-0"



10 BLDG 1 - LEVEL 1 PLAN
 Scale: 1/8" = 1'-0"

Consultant:

Revision:

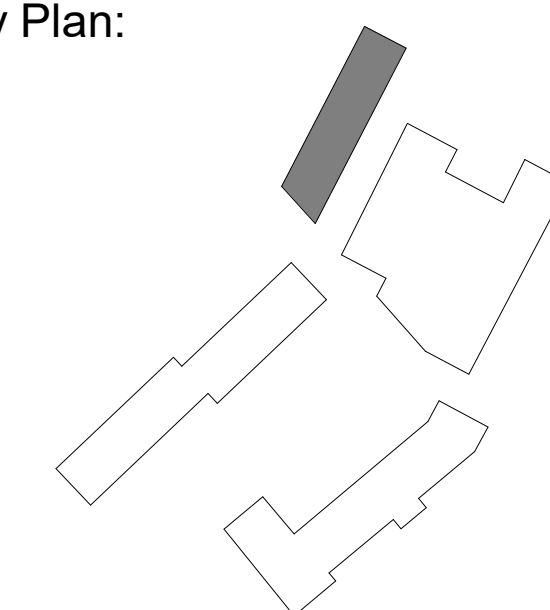
Architect of Record:

Drawn: EH

Checked: Checker

Scale: As indicated

Key Plan:



Project Name:

LaGrange Mill Lofts

35 LAGRANGE ST
 WORCESTER, MA 01608

Sheet Name:

BLDG 1 -
 OVERALL
 FLOOR PLANS -
 LEVELS 1, 2 & 3

Project Number:

20094.00

Issue Date:

JUNE 30, 2021

Sheet Number:

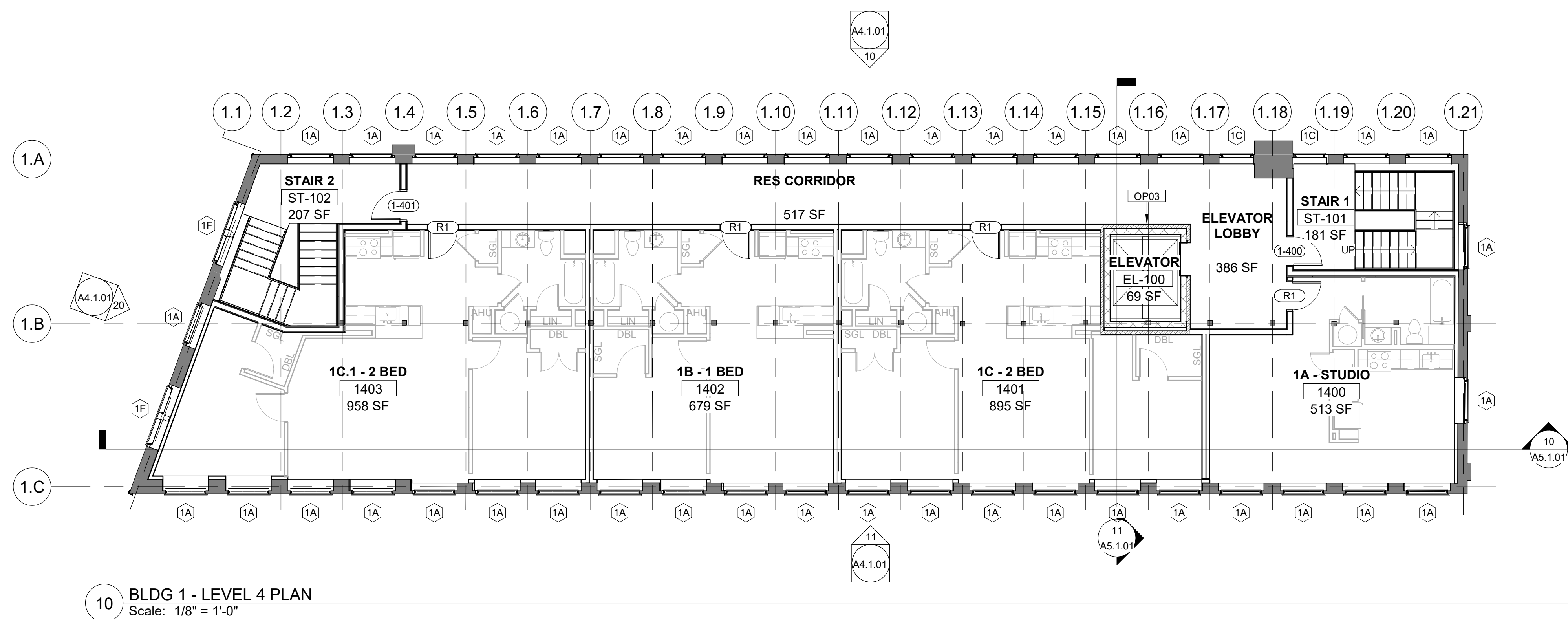
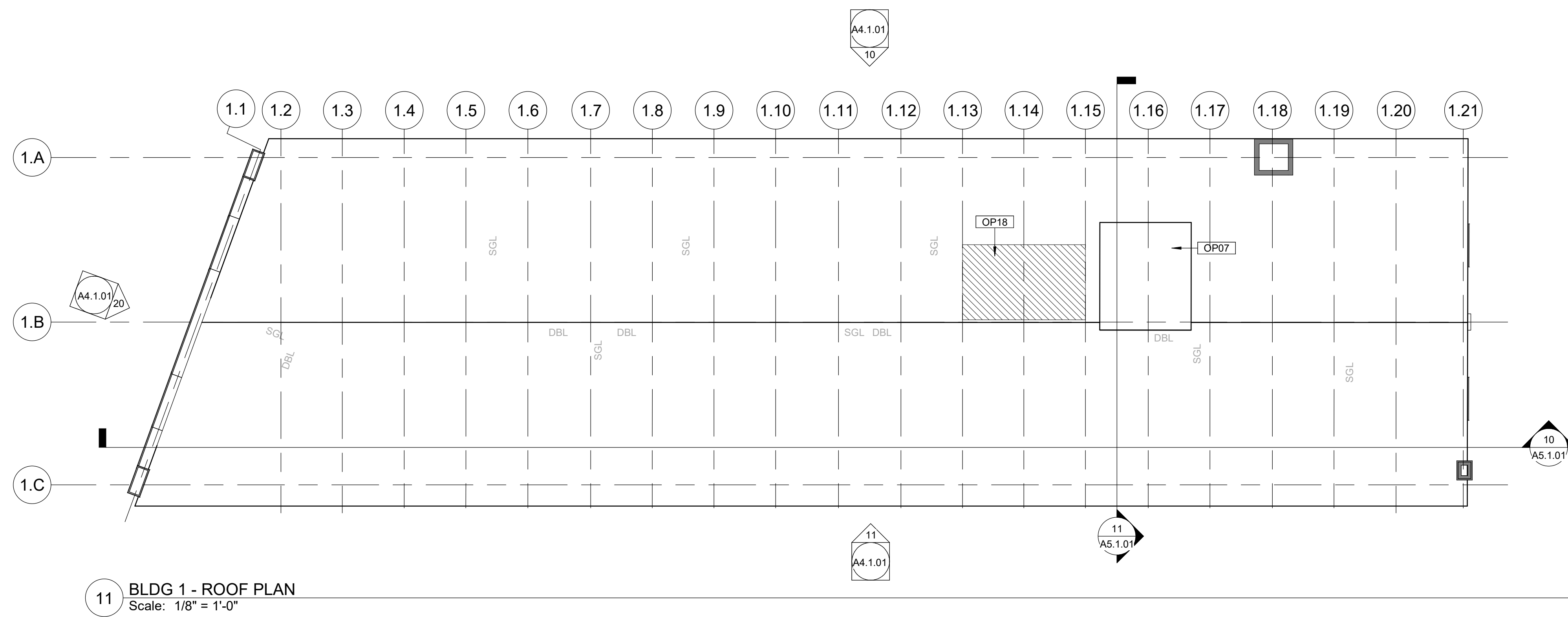
A1.1.01

GENERAL NOTES - OVERALL PLANS

- A. FIELD VERIFY ALL EXISTING CONDITIONS. VERIFY ACTUAL SITE CONDITIONS AND DIMENSIONS. COORDINATE SCOPE OF WORK WITH ALL TRADES.
- B. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, INTERIOR BRICK MASONRY WALLS SHALL BE REPAIRED AND LEFT EXPOSED. AREAS OF CHIEF CONCERN WILL BE PUBLIC AREAS & APARTMENT LIVING AREAS. OF LESSER CONCERN WILL BE WALLS IN BATHROOMS, KITCHENS, & CLOSETS. WHERE PAINTED FINISHES ARE PRESENT, THESE ARE TO BE RESTORED TO THEIR ORIGINAL APPEARANCE WITH METHODS APPROVED BY NPS. FOR ENERGY CONSERVATION, EXTERIOR WALLS IN BEDROOMS, BATHROOMS, & CLOSETS WILL BE FURRED TO A MAXIMUM OF 4", UNLESS OTHERWISE NOTED.
- C. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING CONCRETE FLOORS WILL BE RETAINED. WHERE POSSIBLE, THESE SHALL BE POLISHED AND LEFT EXPOSED IN THEIR NATURAL STATE. WHERE CONDITIONS CANNOT BE IMPROVED, A NEW FLOORING FINISH WILL BE PROVIDED AS TO NOT DAMAGE THE EXISTING CONCRETE.
- D. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING WOOD FLOORS AT GROUND LEVEL WILL BE RETAINED, LIGHTLY SANDED, AND SEALED WITH A CLEAR PROTECTIVE FINISH. WHERE CONDITIONS CANNOT BE IMPROVED, NEW REPLACEMENT WOOD FLOORING WILL BE PROVIDED.
- E. FOR ACOUSTIC PURPOSES, EXISTING WOOD FLOORING AT ALL LEVELS ABOVE GROUND FLOOR WILL BE COVERED IN AN ACOUSTIC MAT AND Poured CEMENTICIOUS TOPPING. NEW FLOORING FINISH TO VARY. REFER TO FINISH SCHEDULE.
- F. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING COLUMNS, BEAMS, AND UNDERSIDE OF WOOD DECKING WILL BE RESTORED USING METHODS APPROVED BY THE NPS AND SEALED WITH A CLEAR PROTECTIVE SEALANT. EXPOSED STRUCTURAL COMPONENTS WILL BE CLEANED AND PREPPED TO RECEIVE AN OPAQUE, PAINTED FINISH.

KEYNOTE LEGEND - OVERALL PLANS

- OP03 EXISTING FREIGHT ELEVATOR DOORS TO BE CLEANED, PREPPED AND INSTALLED AT NEW LOCATION.
- OP07 NEW ELEVATOR OVER-RUN.
- OP18 PROPOSED LOCATION OF NEW ROOF MECHANICAL EQUIPMENT. TO BE POSITIONED AS TO MITIGATE INTERFERENCE WITH HISTORIC SITE LINES.



tat

© The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
O 617.889.440
F 617.884.432
architecturalteam.com

Consultant:

Revision:

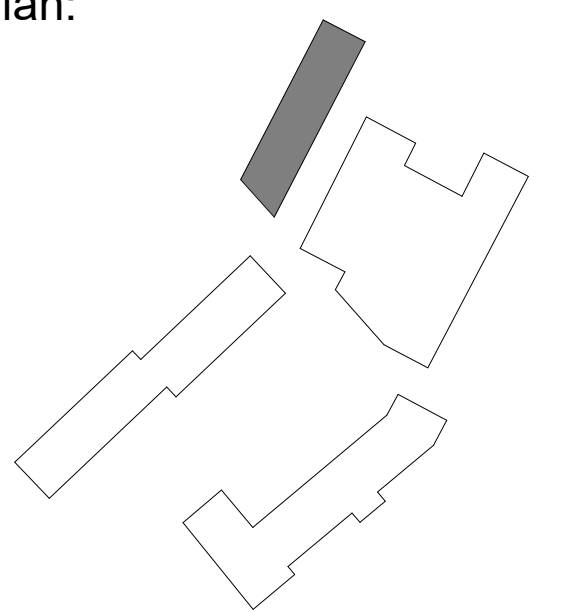
Architect of Record:

Drawn: EH

Checked: Checker

Scale: As indicated

Key Plan:



Project Name:

LaGrange Mill Lofts

35 LAGRANGE ST
WORCESTER, MA 01608

Sheet Name:

BLDG 1 -
OVERALL
FLOOR PLANS -
LEVEL 4 &
ROOF

Project Number:

20094.00

Issue Date:

JUNE 30, 2021

Sheet Number:

A1.1.02

GENERAL NOTES - EXTERIOR ELEVATIONS

- A. FIELD VERIFY ALL EXISTING CONDITIONS. VERIFY ACTUAL SITE CONDITIONS AND DIMENSIONS. COORDINATE SCOPE OF WORK WITH ALL TRADES.
- B. ALL EXISTING ELEMENTS TO REMAIN IN-SITU ARE TO BE PROTECTED FROM DAMAGE.
- C. ALL EXISTING MASONRY AND STONE SHALL BE CLEANED. SELECTIVE REPOINTING OF MORTAR JOINTS AND REPAIR OF MASONRY WILL BE PERFORMED AS NECESSARY. ALL MASONRY SCOPE SHALL UTILIZE METHODS AND PRODUCTS APPROVED BY THE NPS.
- D. ALL EXISTING WINDOWS ARE TO BE REPLACED WITH NEW ALUMINUM WINDOWS WITH CUSTOM EXTRUDED MOLDING TO REPLICATE HISTORIC BRICK MOLDS, HEAD TRIM, AND SILL TRIM (WHERE APPLICABLE). WINDOW PANES TO MATCH PROFILE OF HISTORIC WINDOWS TO THE BEST KNOWLEDGE POSSIBLE.
- E. ALL EXISTING WOOD CORNICE ELEMENTS (BRACKETS, FASCIA, TRIM BOARD, ETC.) ARE TO BE CLEANED AND REUSED TO THE GREATEST EXTENT POSSIBLE. ALL WOOD SHALL BE SCRAPPED OF ALL FRIABLE EXISTING PAINT, SURFACED TO BE PRIMED AND REPAINTED. ELEMENTS WILL BE REPAIRED OR REPLACED UTILIZING CUSTOM PROFILES TO MATCH EXISTING CONDITIONS.
- F. ALL EXISTING BUILT-UP ROOFING SYSTEMS & ASSEMBLIES SHALL BE REPLACED WITH NEW INSULATED TPO ROOF. NEW FLASHING AND SHEET METAL TO REPLACE EXISTING.
- G. WHERE NOTED, REMOVE EXTERIOR APPLIED PAINT WITH METHODS APPROVED BY THE NPS. IF UNABLE TO ACHIEVE WITHOUT DAMAGING EXISTING MASONRY, AN APPROPRIATE OPAQUE MASONRY SEALER WILL BE USED IN THOSE AREAS THAT HAVE ALREADY BEEN PAINTED.

KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL01 EXISTING OPENING TO BE CONVERTED TO A WINDOW OPENING TO MATCH HISTORIC WINDOW PROFILE. REFER TO PROPOSED PLANS & ELEVATIONS.
- EL04 EXISTING OPENING TO RECEIVE MASONRY INFILL SET BACK WITH A 1" EXTERIOR REVEAL. NEW MASONRY INFILL TO MATCH EXISTING ADJACENT CONDITIONS.
- EL05 REMOVE EXTERIOR APPLIED PAINT - TYPICAL AT ENTIRE GROUND FLOOR.
- EL06 NEW ALUMINUM GUTTER AND DOWNSPOUTS.
- EL07 NEW ELEVATOR OVER-RUN.



© The Architectural Team, Inc.
 50 Commandant's Way at Admiral's Hill
 Chelsea MA 02150
 O 617.889.440
 F 617.884.432
 architecturalteam.com

Consultant:

Revision:

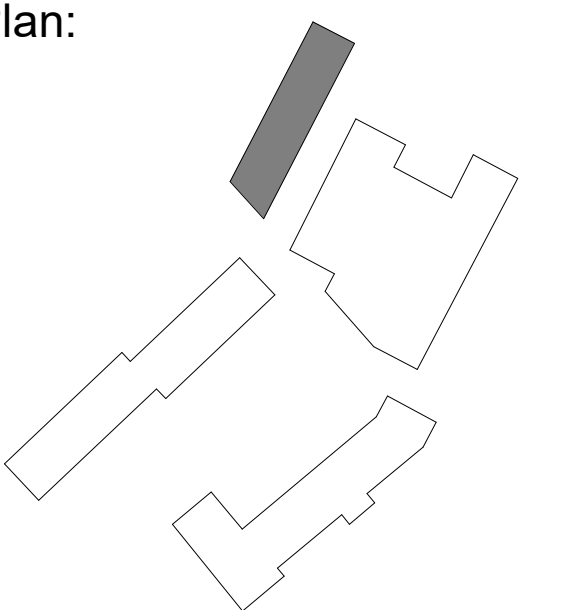
Architect of Record:

Drawn: EH

Checked: Checker

Scale: As indicated

Key Plan:



Project Name:

LaGrange Mill Lofts

35 LAGRANGE ST
 WORCESTER, MA 01608

Sheet Name:

BLDG 1 -
 EXTERIOR
 ELEVATIONS

Project Number:

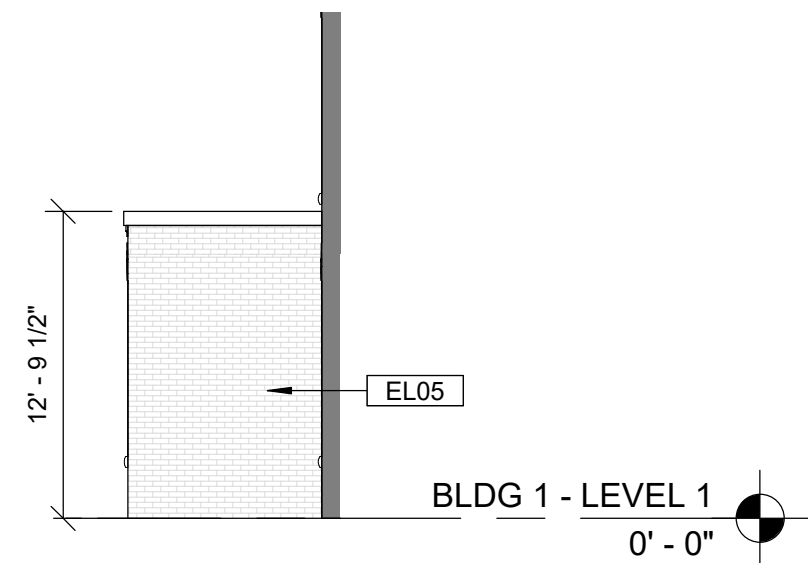
20094.00

Issue Date:

JUNE 30, 2021

Sheet Number:

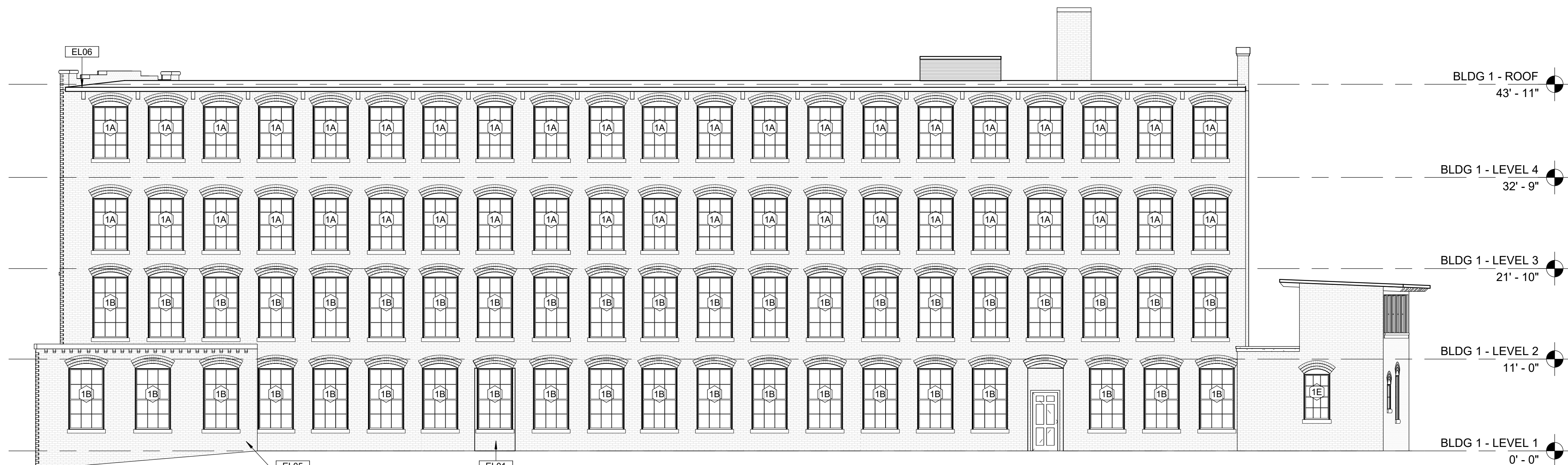
A4.1.01



22 BLDG 1 - ALCOVE ELEVATION
 Scale: 1/8" = 1'-0"



21 BLDG 1 - EAST ELEVATION
 Scale: 1/8" = 1'-0"



11 BLDG 1 - SOUTH ELEVATION
 Scale: 1/8" = 1'-0"



20 BLDG 1 - WEST ELEVATION
 Scale: 1/8" = 1'-0"



10 BLDG 1 - NORTH ELEVATION
 Scale: 1/8" = 1'-0"

BUILDING 2 - 42 LAGRANGE				
TYPE	BED	BATH	DEN	GSF
2B.1	1	1.5	1	1344
2C.3	2	1.5	-	1417
2B	1	1.5	-	1090
2C.2	2	1.5	1	1453
2C	2	1.5	1	1369
2C	2	1.5	1	1363
2C	2	1.5	1	1369
2C.1	2	2	-	1093
UNIT TOTAL				10,498
COMMERCIAL TENNANT				5,108
BUILDING TOTAL				16,196

GENERAL NOTES - OVERALL PLANS

- A. FIELD VERIFY ALL EXISTING CONDITIONS. VERIFY ACTUAL SITE CONDITIONS AND DIMENSIONS. COORDINATE SCOPE OF WORK WITH ALL TRADES.
- B. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, INTERIOR BRICK MASONRY WALLS SHALL BE REPAIRED AND LEFT EXPOSED. AREAS OF CHIEF CONCERN WILL BE PUBLIC AREAS & APARTMENT LIVING AREAS. OF LESSER CONCERN WILL BE WALLS IN BATHROOMS, KITCHENS, & CLOSETS. WHERE PAINTED FINISHES ARE PRESENT, THESE ARE TO BE RESTORED TO THEIR ORIGINAL APPEARANCE WITH METHODS APPROVED BY NPS. FOR ENERGY CONSERVATION, EXTERIOR WALLS IN BEDROOMS, BATHROOMS, & CLOSETS WILL BE FURRED TO A MAXIMUM OF 4", UNLESS OTHERWISE NOTED.
- C. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING CONCRETE FLOORS WILL BE RETAINED. WHERE POSSIBLE, THESE SHALL BE POLISHED AND LEFT EXPOSED IN THEIR NATURAL STATE. WHERE CONDITIONS CANNOT BE IMPROVED, A NEW FLOORING FINISH WILL BE PROVIDED AS TO NOT DAMAGE THE EXISTING CONCRETE.
- D. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING WOOD FLOORS AT GROUND LEVEL WILL BE RETAINED, LIGHTLY SANDED, AND SEALED WITH A CLEAR PROTECTIVE FINISH. WHERE CONDITIONS CANNOT BE IMPROVED, NEW REPLACEMENT WOOD FLOORING WILL BE PROVIDED.
- E. FOR ACOUSTIC PURPOSES, EXISTING WOOD FLOORING AT ALL LEVELS ABOVE GROUND FLOOR WILL BE COVERED IN AN ACOUSTIC MAT AND POURED CEMENTICIOUS TOPPING. NEW FLOORING FINISH TO VARY. REFER TO FINISH SCHEDULE.
- F. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING COLUMNS, BEAMS, AND UNDERSIDE OF WOOD DECKING WILL BE RESTORED USING METHODS APPROVED BY THE NPS AND SEALED WITH A CLEAR PROTECTIVE SEALANT. EXPOSED STRUCTURAL COMPONENTS WILL BE CLEANED AND PREPPED TO RECEIVE AN OPAQUE, PAINTED FINISH.

KEYNOTE LEGEND - OVERALL PLANS

- OP01 EXISTING OPENING TO BE CONVERTED TO A WINDOW OPENING TO MATCH HISTORIC WINDOW PROFILE. REFER TO PROPOSED ELEVATIONS.
- OP02 EXISTING OPENING TO BE CONVERTED TO A DOOR OPENING. REFER TO PROPOSED ELEVATIONS. MASONRY INFILL SURROUNDING DOOR TO MATCH EXISTING AND BE SET BACK FOR 1" EXTERIOR REVEAL.
- OP06 EXISTING OPENING TO RECEIVE MASONRY INFILL SET BACK WITH A 1" EXTERIOR REVEAL.
- OP08 NEW MASONRY INFILL TO MATCH EXISTING ADJACENT CONDITIONS.
- OP09 NEW DOOR TO BE INSTALLED IN EXISTING OPENING. REFER TO DOOR SCHEDULE.
- OP10 NEW COMPLIANT STAIR IN LOCATION OF EXISTING STAIR.
- OP11 NEW WALL PANEL SYSTEM IN EXISTING OPENING.



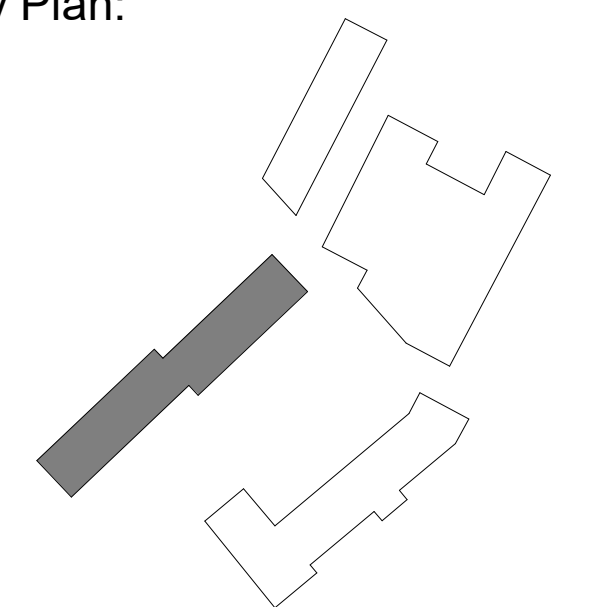
© The Architectural Team, Inc.
 50 Commandant's Way at Admiral's Hill
 Chelsea MA 02150
 O 617.889.440
 F 617.884.432
 architecturalteam.com

Consultant:

Revision:

Architect of Record:

Drawn: EH
 Checked: Checker
 Scale: As indicated
 Key Plan:



Project Name:
LaGrange Mill Lofts

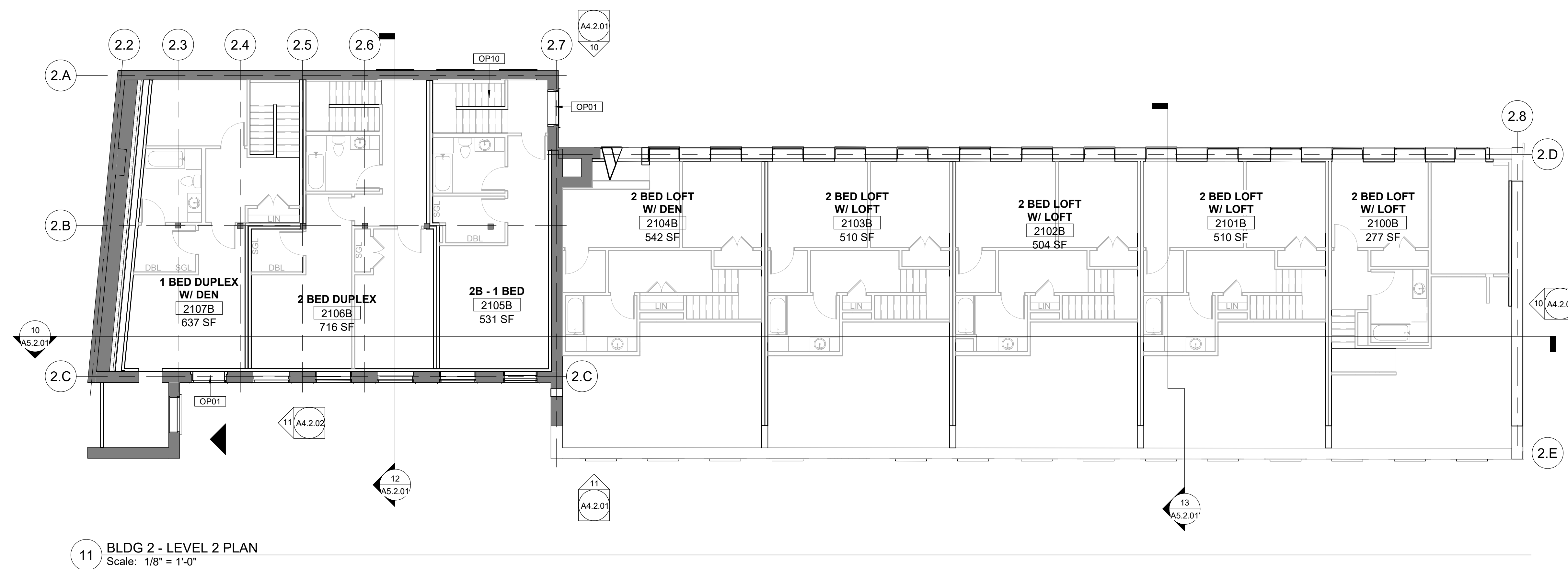
42 LAGRANGE ST
 WORCESTER, MA 01608

Sheet Name:
**BLDG 2 -
 OVERALL
 FLOOR PLANS -
 LEVELS 1 & 2**

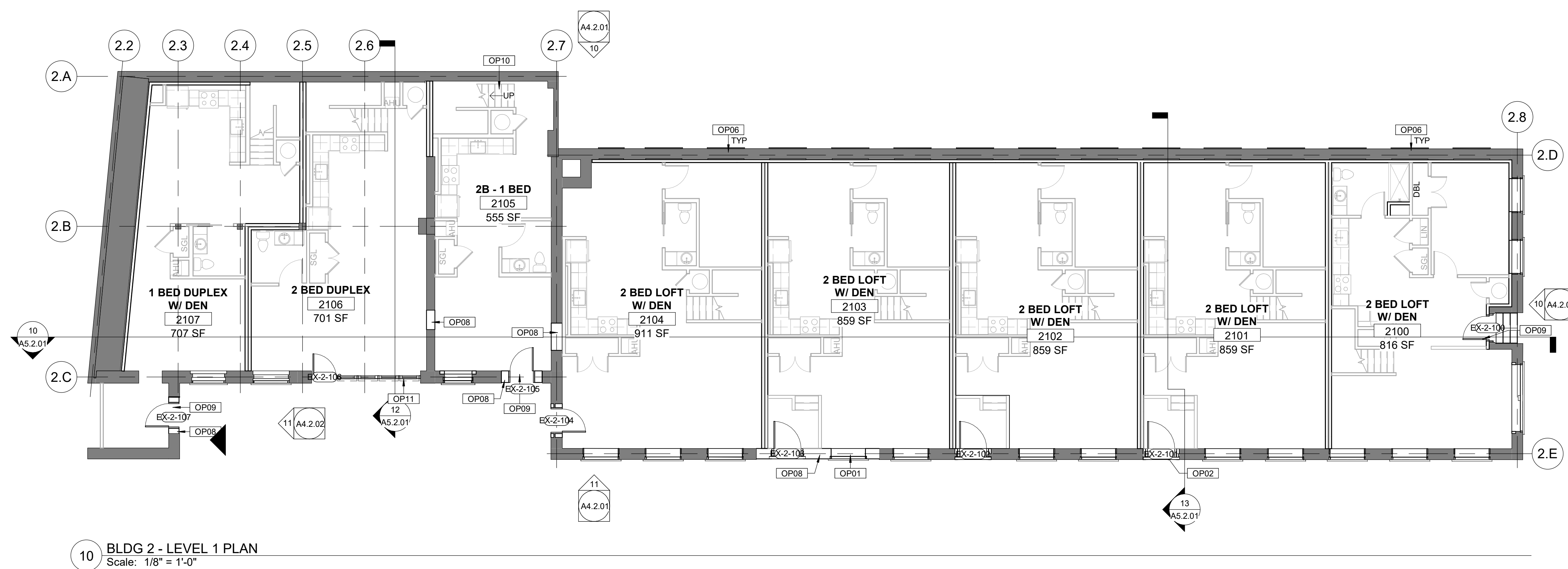
Project Number:
 20094.00

Issue Date:
 JUNE 30, 2021

Sheet Number:
A1.2.01



11 BLDG 2 - LEVEL 2 PLAN
 Scale: 1/8" = 1'-0"



10 BLDG 2 - LEVEL 1 PLAN
 Scale: 1/8" = 1'-0"

GENERAL NOTES - OVERALL PLANS

- A. FIELD VERIFY ALL EXISTING CONDITIONS. VERIFY ACTUAL SITE CONDITIONS AND DIMENSIONS. COORDINATE SCOPE OF WORK WITH ALL TRADES.
- B. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, INTERIOR BRICK MASONRY WALLS SHALL BE REPAIRED AND LEFT EXPOSED. AREAS OF CHIEF CONCERN WILL BE PUBLIC AREAS & APARTMENT LIVING AREAS. OF LESSER CONCERN WILL BE WALLS IN BATHROOMS, KITCHENS, & CLOSETS. WHERE PAINTED FINISHES ARE PRESENT, THESE ARE TO BE RESTORED TO THEIR ORIGINAL APPEARANCE WITH METHODS APPROVED BY NPS. FOR ENERGY CONSERVATION, EXTERIOR WALLS IN BEDROOMS, BATHROOMS, & CLOSETS WILL BE FURRED TO A MAXIMUM OF 4", UNLESS OTHERWISE NOTED.
- C. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING CONCRETE FLOORS WILL BE RETAINED. WHERE POSSIBLE, THESE SHALL BE POLISHED AND LEFT EXPOSED IN THEIR NATURAL STATE. WHERE CONDITIONS CANNOT BE IMPROVED, A NEW FLOORING FINISH WILL BE PROVIDED AS TO NOT DAMAGE THE EXISTING CONCRETE.
- D. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING WOOD FLOORS AT GROUND LEVEL WILL BE RETAINED, LIGHTLY SANDED, AND SEALED WITH A CLEAR PROTECTIVE FINISH. WHERE CONDITIONS CANNOT BE IMPROVED, NEW REPLACEMENT WOOD FLOORING WILL BE PROVIDED.
- E. FOR ACOUSTIC PURPOSES, EXISTING WOOD FLOORING AT ALL LEVELS ABOVE GROUND FLOOR WILL BE COVERED IN AN ACOUSTIC MAT AND POURED CEMENTICIOUS TOPPING. NEW FLOORING FINISH TO VARY. REFER TO FINISH SCHEDULE.
- F. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING COLUMNS, BEAMS, AND UNDERSIDE OF WOOD DECKING WILL BE RESTORED USING METHODS APPROVED BY THE NPS AND SEALED WITH A CLEAR PROTECTIVE SEALANT. EXPOSED STRUCTURAL COMPONENTS WILL BE CLEANED AND PREPPED TO RECEIVE AN OPAQUE, PAINTED FINISH.

KEYNOTE LEGEND - OVERALL PLANS

PROPOSED LOCATION OF NEW ROOF MECHANICAL EQUIPMENT. TO BE POSITIONED AS TO MITIGATE INTERFERENCE WITH HISTORIC SITE LINES.

tat

© The Architectural Team, Inc.
 50 Commandant's Way at Admiral's Hill
 Chelsea MA 02150
 O 617.889.440
 F 617.884.432
 architecturalteam.com

Consultant:

Revision:

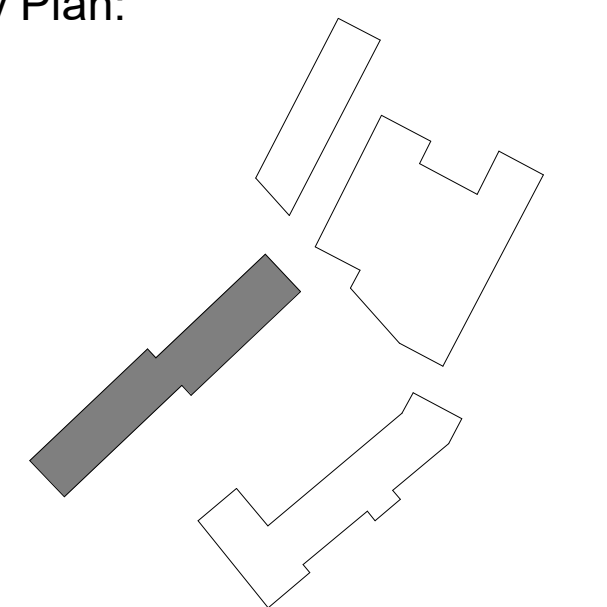
Architect of Record:

Drawn: EH

Checked: Checker

Scale: As indicated

Key Plan:



Project Name:

LaGrange Mill Lofts

42 LAGRANGE ST
 WORCESTER, MA 01608

Sheet Name:

BLDG 2 -
 OVERALL
 FLOOR PLANS -
 LEVEL 3 &
 ROOF

Project Number:

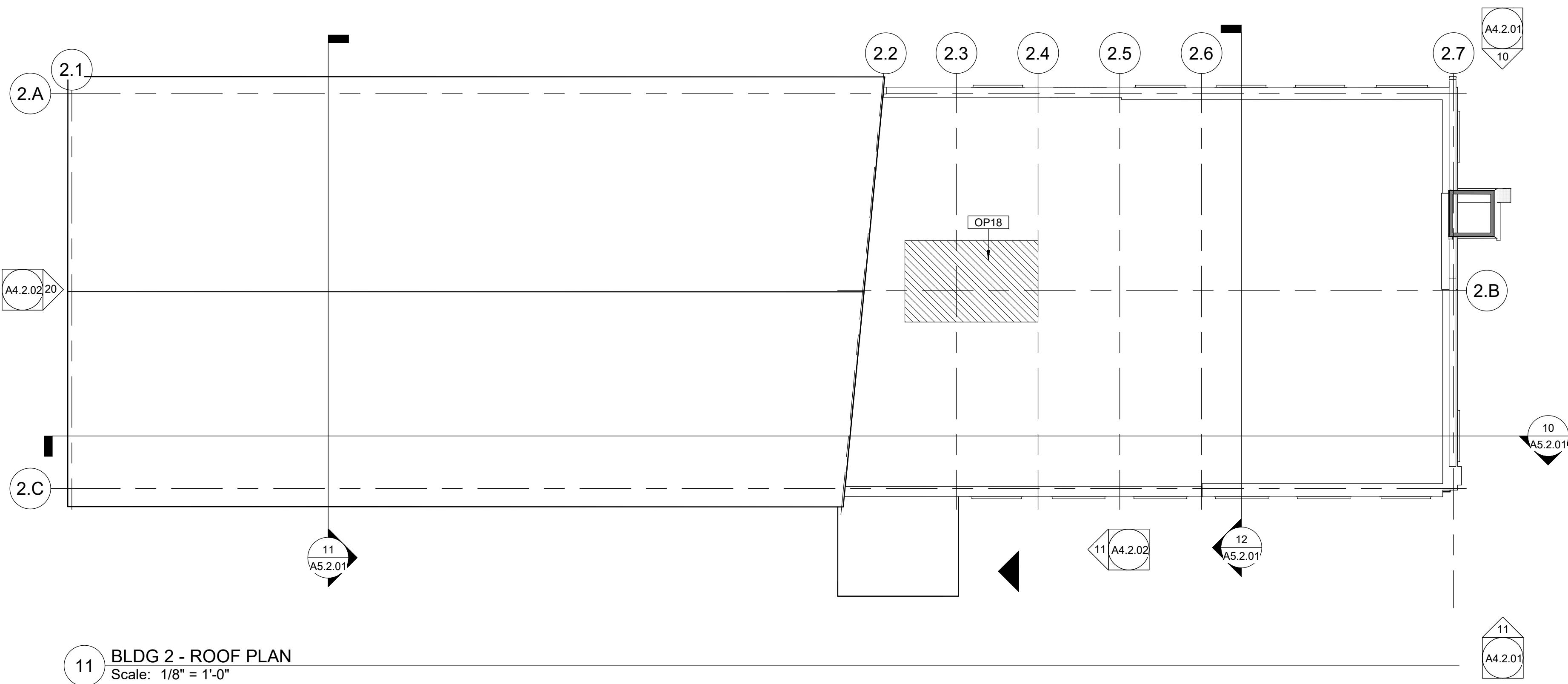
20094.00

Issue Date:

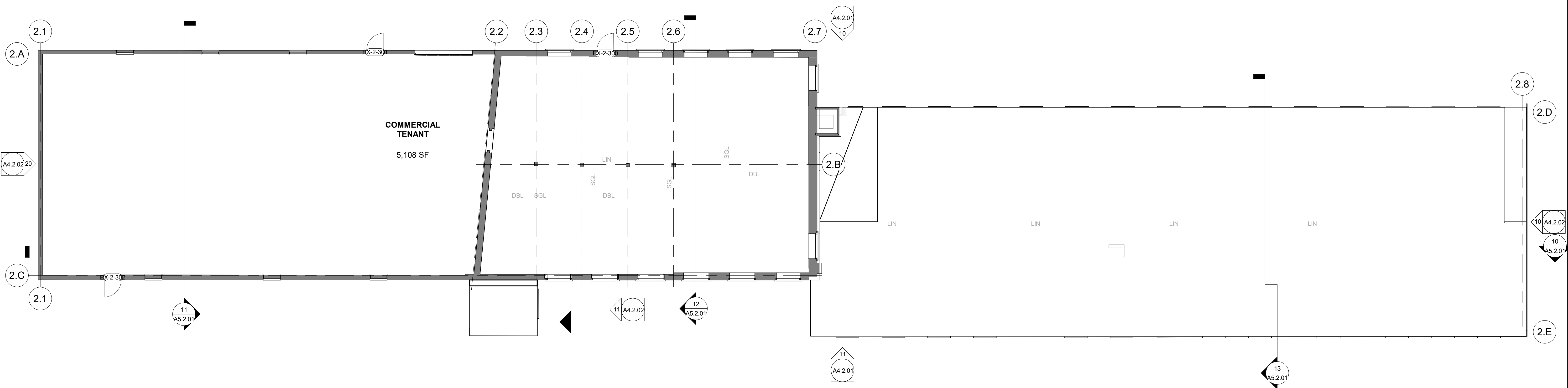
JUNE 30, 2021

Sheet Number:

A1.2.02



11 BLDG 2 - ROOF PLAN
 Scale: 1/8" = 1'-0"



10 BLDG 2 - LEVEL 3 PLAN
 Scale: 1/8" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

- A. FIELD VERIFY ALL EXISTING CONDITIONS. VERIFY ACTUAL SITE CONDITIONS AND DIMENSIONS. COORDINATE SCOPE OF WORK WITH ALL TRADES.
- B. ALL EXISTING ELEMENTS TO REMAIN IN-SITU ARE TO BE PROTECTED FROM DAMAGE.
- C. ALL EXISTING MASONRY AND STONE SHALL BE CLEANED. SELECTIVE REPOINTING OF MORTAR JOINTS AND REPAIR OF MASONRY WILL BE PERFORMED AS NECESSARY. ALL MASONRY SCOPE SHALL UTILIZE METHODS AND PRODUCTS APPROVED BY THE NPS.
- D. ALL EXISTING WINDOWS ARE TO BE REPLACED WITH NEW ALUMINUM WINDOWS WITH CUSTOM EXTRUDED MOLDING TO REPLICATE HISTORIC BRICK MOLDS, HEAD TRIM, AND SILL TRIM (WHERE APPLICABLE). WINDOW PANES TO MATCH PROFILE OF HISTORIC WINDOWS TO THE BEST KNOWLEDGE POSSIBLE.
- E. ALL EXISTING WOOD CORNICE ELEMENTS (BRACKETS, FASCIA, TRIM BOARD, ETC.) ARE TO BE CLEANED AND REUSED TO THE GREATEST EXTENT POSSIBLE. ALL WOOD SHALL BE SCRAPED OF ALL FRIABLE EXISTING PAINT, SURFACED TO BE PRIMED AND REPAINTED. ELEMENTS WILL BE REPAIRED OR REPLACED UTILIZING CUSTOM PROFILES TO MATCH EXISTING CONDITIONS.
- F. ALL EXISTING BUILT-UP ROOFING SYSTEMS & ASSEMBLIES SHALL BE REPLACED WITH NEW INSULATED TPO ROOF. NEW FLASHING AND SHEET METAL TO REPLACE EXISTING.
- G. WHERE NOTED, REMOVE EXTERIOR APPLIED PAINT WITH METHODS APPROVED BY THE NPS. IF UNABLE TO ACHIEVE WITHOUT DAMAGING EXISTING MASONRY, AN APPROPRIATE OPAQUE MASONRY SEALER WILL BE USED IN THOSE AREAS THAT HAVE ALREADY BEEN PAINTED.

KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL01 EXISTING OPENING TO BE CONVERTED TO A WINDOW OPENING TO MATCH HISTORIC WINDOW PROFILE. REFER TO PROPOSED PLANS & ELEVATIONS.
- EL02 EXISTING OPENING TO BE CONVERTED TO A DOOR OPENING. REFER TO PROPOSED PLANS & ELEVATIONS.
- EL04 EXISTING OPENING TO RECEIVE MASONRY INFILL SET BACK WITH A 1" EXTERIOR REVEAL. NEW MASONRY INFILL TO MATCH EXISTING ADJACENT CONDITIONS.
- EL06 NEW ALUMINUM GUTTER AND DOWNSPOUTS.
- EL08 NEW DOOR TO BE INSTALLED IN EXISTING OPENING. REFER TO DOOR SCHEDULE.
- EL09 NEW MASONRY INFILL TO MATCH EXISTING ADJACENT CONDITIONS.
- EL10 NEW CONTINUOUS SHED ROOF WITH CLERESTORY WINDOWS.
- EL11 EXTERIOR PAINT TO REMAIN. NEW OPAQUE MASONRY SEALER TO BE APPLIED AFTER MASONRY AND MORTOR RESTORATION HAS BEEN COMPLETED.
- EL12 NEW WALL PANEL SYSTEM IN EXISTING OPENING.
- EL13 NEW EXTERIOR MASONRY ADDITION. NEW MASONRY TO MATCH EXISTING ADJACENT CONDITIONS. NEW STANDING SEAM ROOF TO BE SET LOWER THAN EXISTING ROOF LINE.



© The Architectural Team, Inc.
 50 Commandant's Way at Admiral's Hill
 Chelsea MA 02150
 O 617.889.440
 F 617.884.432
 architecturalteam.com

Consultant:

Revision:

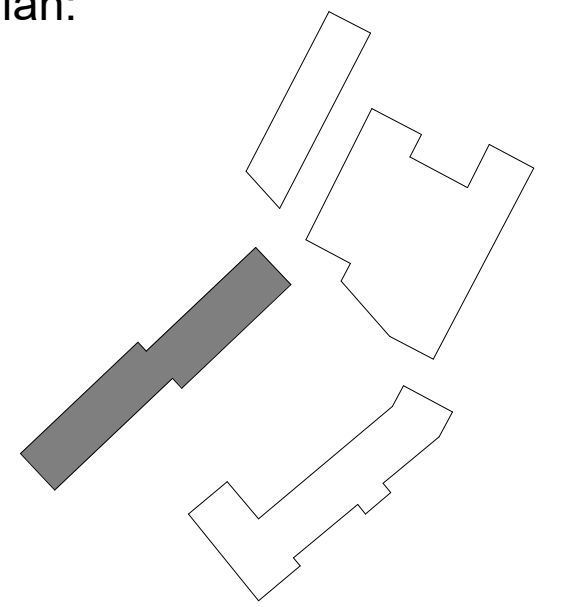
Architect of Record:

Drawn: EH

Checked: Checker

Scale: As indicated

Key Plan:



Project Name:

LaGrange Mill Lofts

42 LAGRANGE ST
 WORCESTER, MA 01608

Sheet Name:

BLDG 2 -
 EXTERIOR
 ELEVATIONS

Project Number:

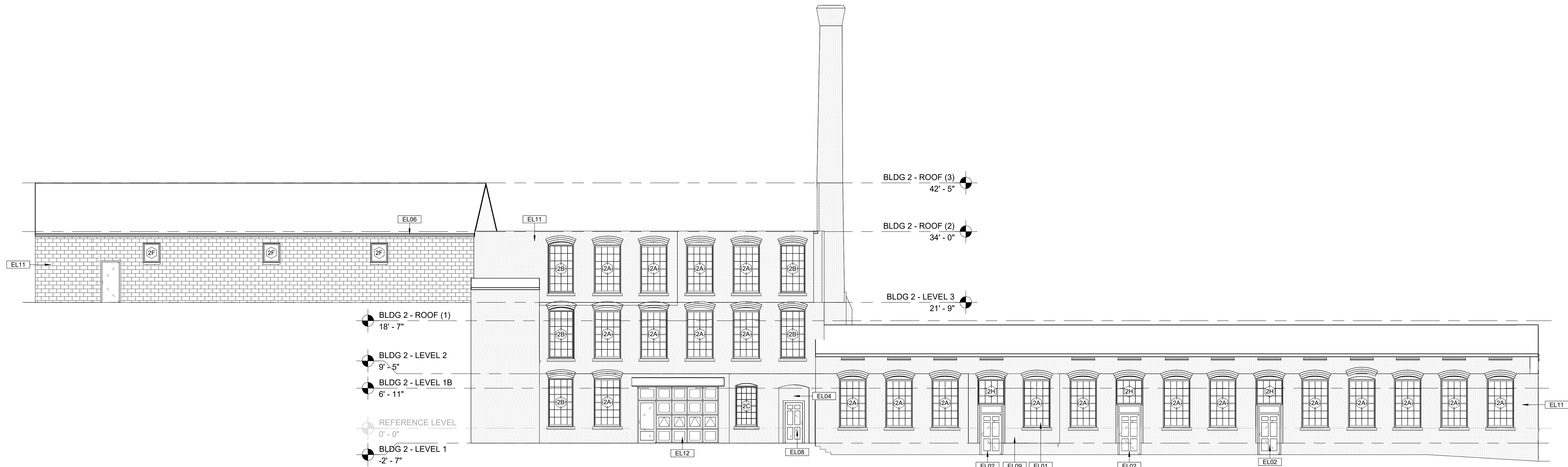
20094.00

Issue Date:

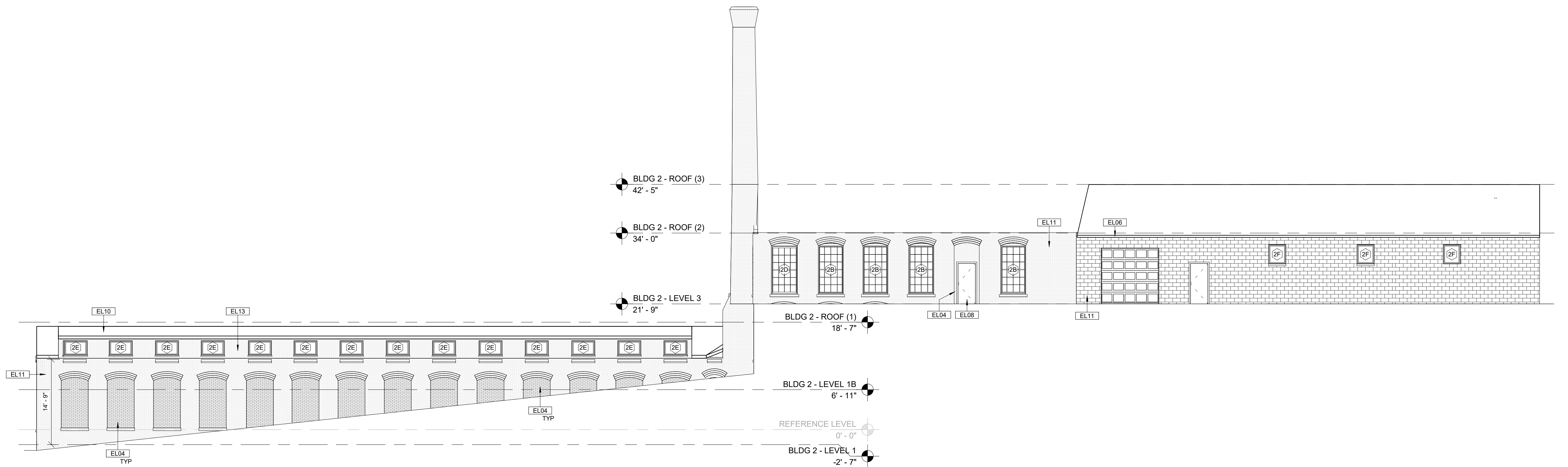
JUNE 30, 2021

Sheet Number:

A4.2.01



11 BLDG 2 - SOUTH ELEVATION
 Scale: 1/8" = 1'-0"



10 BLDG 2 - NORTH ELEVATION
 Scale: 1/8" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

- A. FIELD VERIFY ALL EXISTING CONDITIONS. VERIFY ACTUAL SITE CONDITIONS AND DIMENSIONS. COORDINATE SCOPE OF WORK WITH ALL TRADES.
- B. ALL EXISTING ELEMENTS TO REMAIN IN-SITU ARE TO BE PROTECTED FROM DAMAGE.
- C. ALL EXISTING MASONRY AND STONE SHALL BE CLEANED. SELECTIVE REPOINTING OF MORTAR JOINTS AND REPAIR OF MASONRY WILL BE PERFORMED AS NECESSARY. ALL MASONRY SCOPE SHALL UTILIZE METHODS AND PRODUCTS APPROVED BY THE NPS.
- D. ALL EXISTING WINDOES ARE TO BE REPLACED WITH NEW ALUMINUM WINDOWS WITH CUSTOM EXTRUDED MOLDING TO REPLICATE HISTORIC BRICK MOLDS, HEAD TRIM, AND SILL TRIM (WHERE APPLICABLE). WINDOW PANES TO MATCH PROFILE OF HISTORIC WINDOWS TO THE BEST KNOWLEDGE POSSIBLE.
- E. ALL EXISTING WOOD CORNICE ELEMENTS (BRACKETS, FASCIA, TRIM BOARD, ETC.) ARE TO BE CLEANED AND REUSED TO THE GREATEST EXTENT POSSIBLE. ALL WOOD SHALL BE SCRAPED OF ALL FRIABLE EXISTING PAINT, SURFACED TO BE PRIMED AND REPAINTED. ELEMENTS WILL BE REPAIRED OR REPLACED UTILIZING CUSTOM PROFILES TO MATCH EXISTING CONDITIONS.
- F. ALL EXISTING BUILT-UP ROOFING SYSTEMS & ASSEMBLIES SHALL BE REPLACED WITH NEW INSULATED TPO ROOF. NEW FLASHING AND SHEET METAL TO REPLACE EXISTING.
- G. WHERE NOTED, REMOVE EXTERIOR APPLIED PAINT WITH METHODS APPROVED BY THE NPS. IF UNABLE TO ACHIEVE WITHOUT DAMAGING EXISTING MASONRY, AN APPROPRIATE OPAQUE MASONRY SEALER WILL BE USED IN THOSE AREAS THAT HAVE ALREADY BEEN PAINTED.

KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL01 EXISTING OPENING TO BE CONVERTED TO A WINDOW OPENING TO MATCH HISTORIC WINDOW PROFILE. REFER TO PROPOSED PLANS & ELEVATIONS.
- EL04 EXISTING OPENING TO RECEIVE MASONRY INFILL SET BACK WITH A 1" EXTERIOR REVEAL. NEW MASONRY INFILL TO MATCH EXISTING ADJACENT CONDITIONS.
- EL08 NEW DOOR TO BE INSTALLED IN EXISTING OPENING. REFER TO DOOR SCHEDULE.
- EL10 NEW CONTINUOUS SHED ROOF WITH CLERESTORY WINDOWS.
- EL11 EXTERIOR PAINT TO REMAIN. NEW OPAQUE MASONRY SEALER TO BE APPLIED AFTER MASONRY AND MORTOR RESTORATION HAS BEEN COMPLETED.
- EL13 NEW EXTERIOR MASONRY ADDITION. NEW MASONRY TO MATCH EXISTING ADJACENT CONDITIONS. NEW STANDING SEAM ROOF TO BE SET LOWER THAN EXISTING ROOF LINE.



© The Architectural Team, Inc.
 50 Commandant's Way at Admiral's Hill
 Chelsea MA 02150
 O 617.889.440
 F 617.884.432
 architecturalteam.com

Consultant:

Revision:

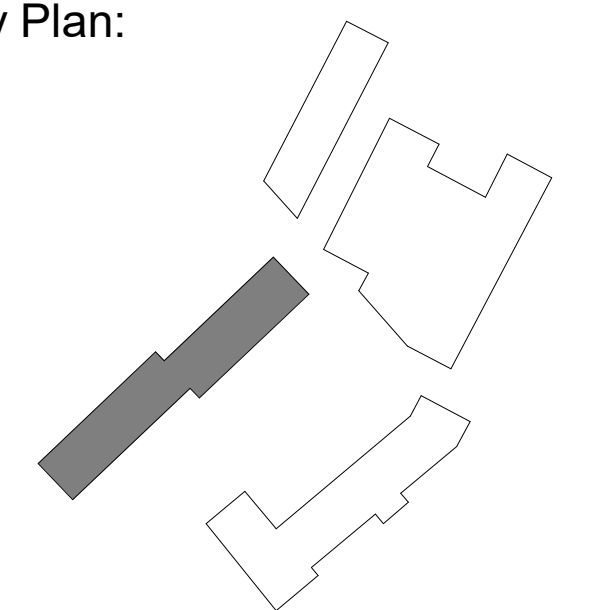
Architect of Record:

Drawn: EH

Checked: Checker

Scale: As indicated

Key Plan:



Project Name:

LaGrange Mill Lofts

42 LAGRANGE ST
 WORCESTER, MA 01608

Sheet Name:

BLDG 2 -
 EXTERIOR
 ELEVATIONS

Project Number:

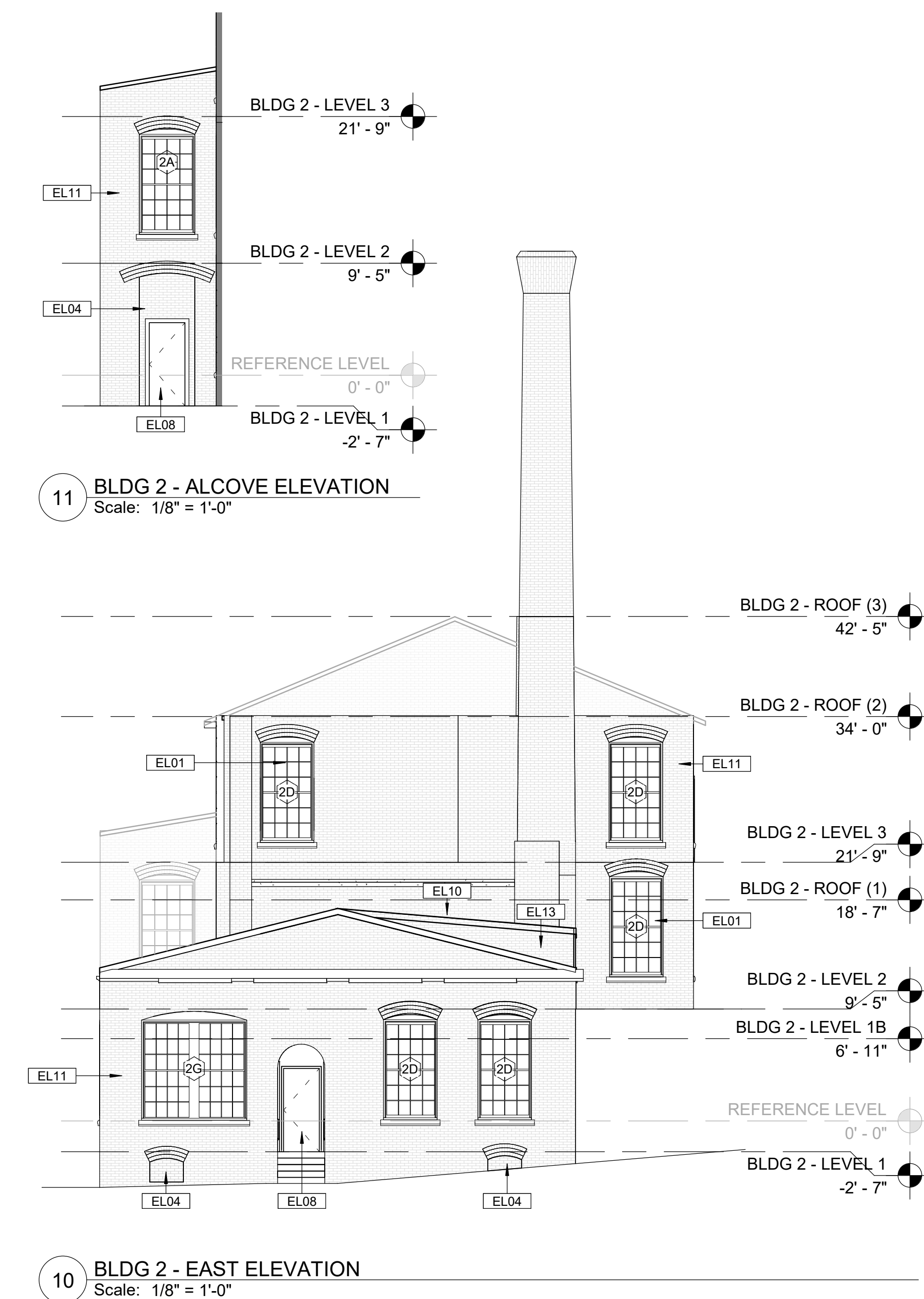
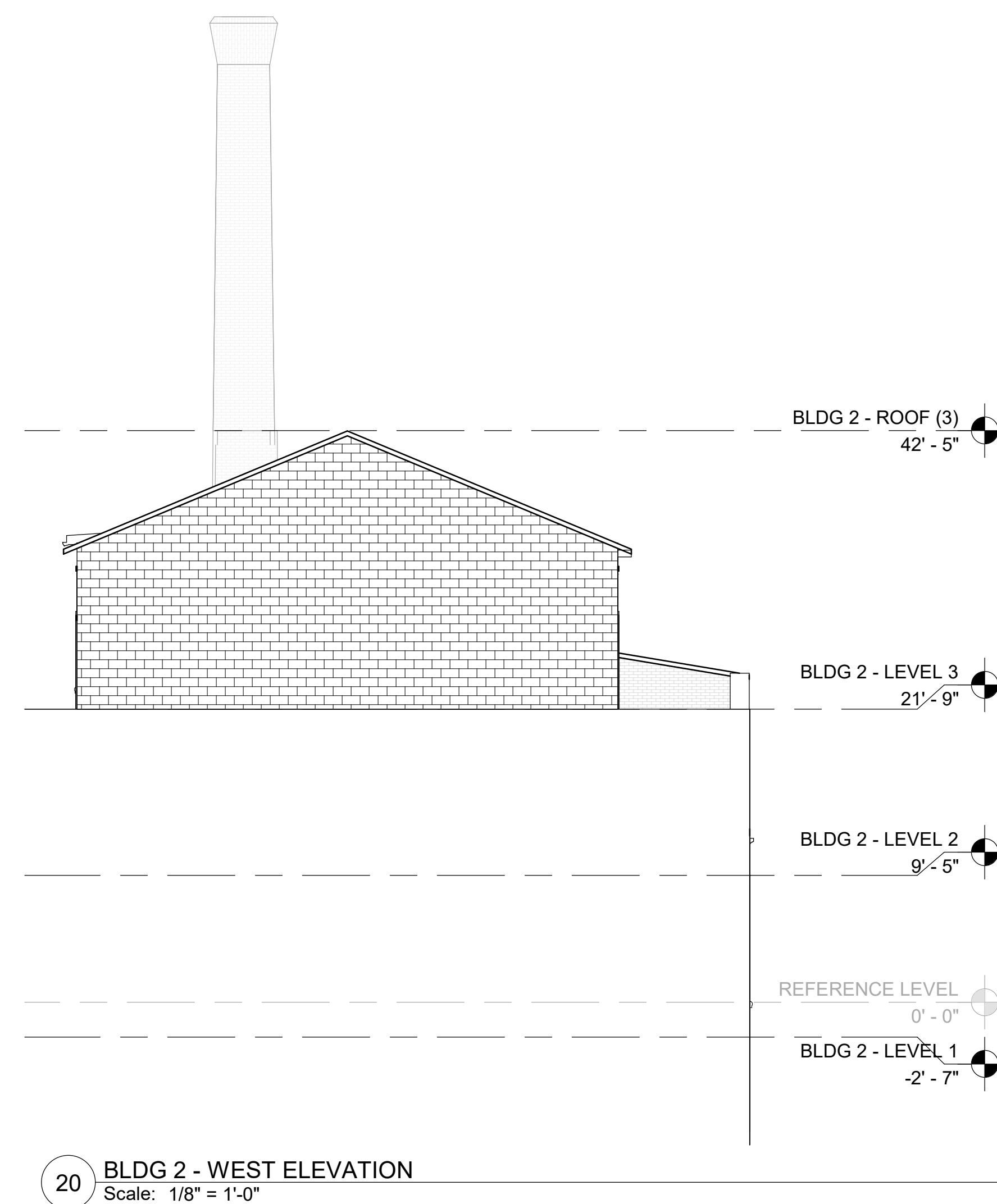
20094.00

Issue Date:

JUNE 30, 2021

Sheet Number:

A4.2.02



BUILDING 3 - 47 LAGRANGE					
	TYPE	BED	BATH	DEN	GSF
FLOOR 1	3C.5	2	2	-	1041
	3B	1	1	-	773
	3C.4	2	2	-	1159
	3C.3	2	1	-	975
	3B.2	1	1	-	640
	3B.1	1	1	1	1016
	3C.2	2	1	-	1046
	3C	2	2	-	1011
	3A	STUDIO	1	-	591
	3B	1	1	-	677
	3C	2	2	-	999
	3C.1	2	2	-	1023
	FLOOR 2	3C.2	2	1	-
3C		2	2	-	1018
3A		STUDIO	1	-	595
3B		1	1	-	683
3C		2	2	-	1007
3C.1		2	2	-	1039
FLOOR 2/3	3D	3	2	-	1545
	3D.1	3	2	-	1539
	3D.1 (B)	3	2	-	1594
	3D (B)	3	2	-	1588
UNIT TOTAL					22,603
BUILDING TOTAL					33,961

GENERAL NOTES - OVERALL PLANS

- A. FIELD VERIFY ALL EXISTING CONDITIONS. VERIFY ACTUAL SITE CONDITIONS AND DIMENSIONS. COORDINATE SCOPE OF WORK WITH ALL TRADES.
- B. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, INTERIOR BRICK MASONRY WALLS SHALL BE REPAIRED AND LEFT EXPOSED. AREAS OF CHIEF CONCERN WILL BE PUBLIC AREAS & APARTMENT LIVING AREAS. OF LESSER CONCERN WILL BE WALLS IN BATHROOMS, KITCHENS, & CLOSETS. WHERE PAINTED FINISHES ARE PRESENT, THESE ARE TO BE RESTORED TO THEIR ORIGINAL APPEARANCE WITH METHODS APPROVED BY NPS. FOR ENERGY CONSERVATION, EXTERIOR WALLS IN BEDROOMS, BATHROOMS, & CLOSETS WILL BE FURRED TO A MAXIMUM OF 4", UNLESS OTHERWISE NOTED.
- C. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING CONCRETE FLOORS WILL BE RETAINED. WHERE POSSIBLE, THESE SHALL BE POLISHED AND LEFT EXPOSED IN THEIR NATURAL STATE. WHERE CONDITIONS CANNOT BE IMPROVED, A NEW FLOORING FINISH WILL BE PROVIDED AS TO NOT DAMAGE THE EXISTING CONCRETE.
- D. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING WOOD FLOORS AT GROUND LEVEL WILL BE RETAINED, LIGHTLY SANDED, AND SEALED WITH A CLEAR PROTECTIVE FINISH. WHERE CONDITIONS CANNOT BE IMPROVED, NEW REPLACEMENT WOOD FLOORING WILL BE PROVIDED.
- E. FOR ACOUSTIC PURPOSES, EXISTING WOOD FLOORING AT ALL LEVELS ABOVE GROUND FLOOR WILL BE COVERED IN AN ACOUSTIC MAT AND POURED CEMENTICIOUS TOPPING. NEW FLOORING FINISH TO VARY. REFER TO FINISH SCHEDULE.
- F. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING COLUMNS, BEAMS, AND UNDERSIDE OF WOOD DECKING WILL BE RESTORED USING METHODS APPROVED BY THE NPS AND SEALED WITH A CLEAR PROTECTIVE SEALANT. EXPOSED STRUCTURAL COMPONENTS WILL BE CLEANED AND PREPPED TO RECEIVE AN OPAQUE, PAINTED FINISH.

KEYNOTE LEGEND - OVERALL PLANS

- OP01 EXISTING OPENING TO BE CONVERTED TO A WINDOW OPENING TO MATCH HISTORIC WINDOW PROFILE. REFER TO PROPOSED ELEVATIONS.
- OP02 EXISTING OPENING TO BE CONVERTED TO A DOOR OPENING. REFER TO PROPOSED ELEVATIONS. MASONRY INFILL SURROUNDING DOOR TO MATCH EXISTING AND BE SET BACK FOR 1" EXTERIOR REVEAL.
- OP04 EXISTING METAL FIRE DOOR TO BE CLEANED, PREPPED AND INSTALLED AT NEW LOCATION.
- OP06 EXISTING OPENING TO RECEIVE MASONRY INFILL SET BACK WITH A 1" EXTERIOR REVEAL.
- OP08 NEW MASONRY INFILL TO MATCH EXISTING ADJACENT CONDITIONS.
- OP11 NEW WALL PANEL SYSTEM IN EXISTING OPENING.



© The Architectural Team, Inc.
 50 Commandant's Way at Admiral's Hill
 Chelsea MA 02150
 O 617.889.440
 F 617.884.432
 architecturalteam.com

Consultant:

Revision:

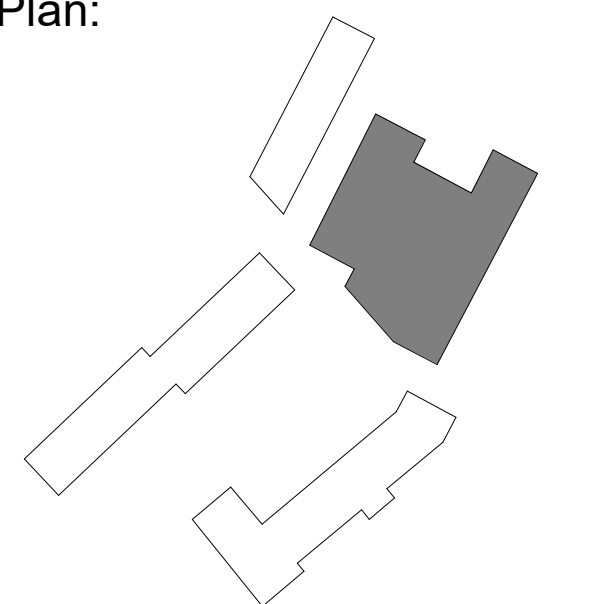
Architect of Record:

Drawn: EH

Checked: Checker

Scale: As indicated

Key Plan:



Project Name:

LaGrange Mill Lofts

47 LAGRANGE ST
 WORCESTER, MA 01608

Sheet Name:

BLDG 3 -
 OVERALL
 FLOOR PLAN -
 LEVEL 1

Project Number:

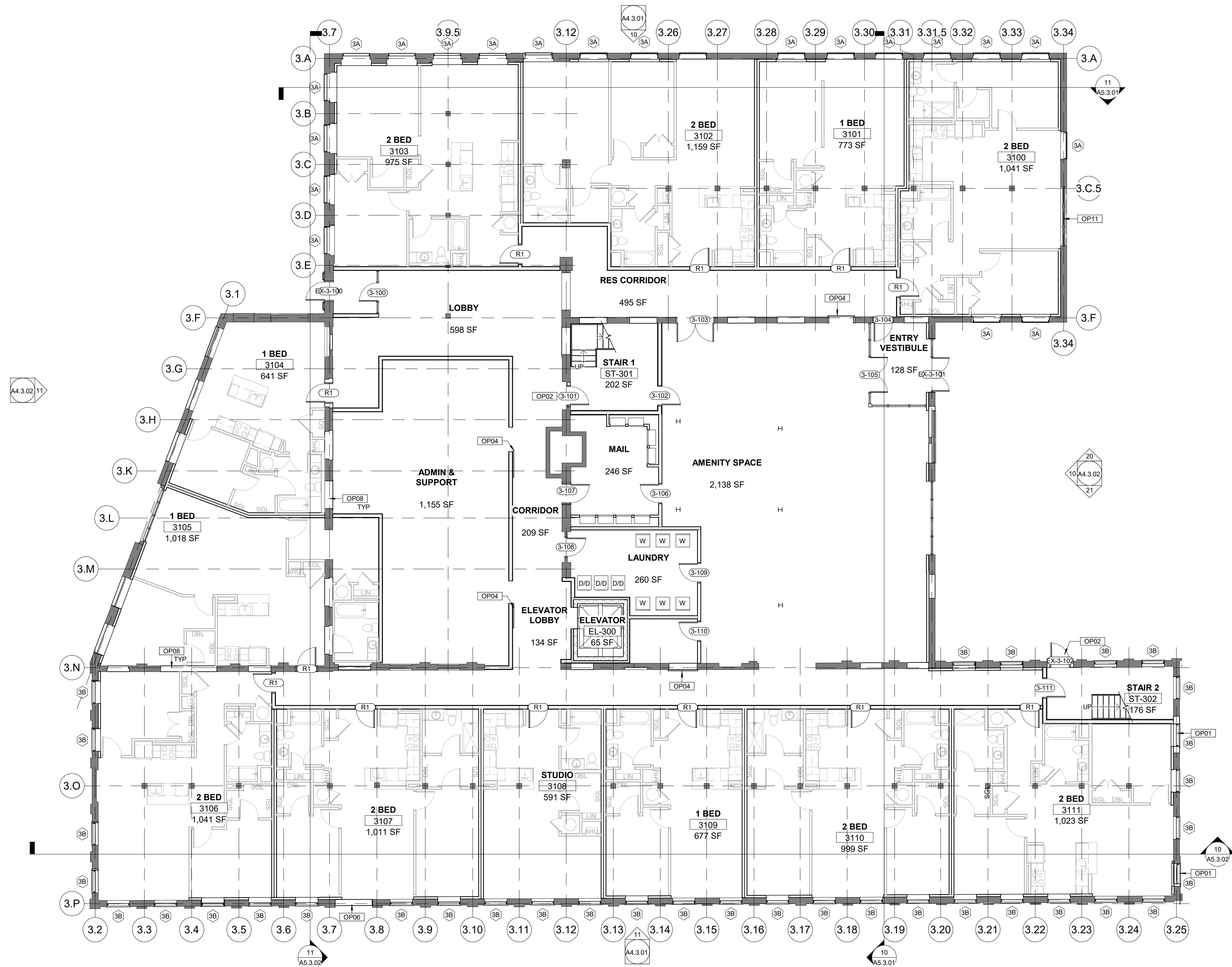
20094.00

Issue Date:

JUNE 30, 2021

Sheet Number:

A1.3.01



10 BLDG 3 - LEVEL 1 PLAN
 Scale: 1/8" = 1'-0"

GENERAL NOTES - OVERALL PLANS

- A. FIELD VERIFY ALL EXISTING CONDITIONS. VERIFY ACTUAL SITE CONDITIONS AND DIMENSIONS. COORDINATE SCOPE OF WORK WITH ALL TRADES.
- B. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, INTERIOR BRICK MASONRY WALLS SHALL BE REPAIRED AND LEFT EXPOSED. AREAS OF CHIEF CONCERN WILL BE PUBLIC AREAS & APARTMENT LIVING AREAS. OF LESSER CONCERN WILL BE WALLS IN BATHROOMS, KITCHENS, & CLOSETS. WHERE PAINTED FINISHES ARE PRESENT, THESE ARE TO BE RESTORED TO THEIR ORIGINAL APPEARANCE WITH METHODS APPROVED BY NPS. FOR ENERGY CONSERVATION, EXTERIOR WALLS IN BEDROOMS, BATHROOMS, & CLOSETS WILL BE FURRED TO A MAXIMUM OF 4", UNLESS OTHERWISE NOTED.
- C. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING CONCRETE FLOORS WILL BE RETAINED. WHERE POSSIBLE, THESE SHALL BE POLISHED AND LEFT EXPOSED IN THEIR NATURAL STATE. WHERE CONDITIONS CANNOT BE IMPROVED, A NEW FLOORING FINISH WILL BE PROVIDED AS TO NOT DAMAGE THE EXISTING CONCRETE.
- D. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING WOOD FLOORS AT GROUND LEVEL WILL BE RETAINED, LIGHTLY SANDED, AND SEALED WITH A CLEAR PROTECTIVE FINISH. WHERE CONDITIONS CANNOT BE IMPROVED, NEW REPLACEMENT WOOD FLOORING WILL BE PROVIDED.
- E. FOR ACOUSTIC PURPOSES, EXISTING WOOD FLOORING AT ALL LEVELS ABOVE GROUND FLOOR WILL BE COVERED IN AN ACOUSTIC MAT AND POURED CEMENTICIOUS TOPPING. NEW FLOORING FINISH TO VARY. REFER TO FINISH SCHEDULE.
- F. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING COLUMNS, BEAMS, AND UNDERSIDE OF WOOD DECKING WILL BE RESTORED USING METHODS APPROVED BY THE NPS AND SEALED WITH A CLEAR PROTECTIVE SEALANT. EXPOSED STRUCTURAL COMPONENTS WILL BE CLEANED AND PREPPED TO RECEIVE AN OPAQUE, PAINTED FINISH.

KEYNOTE LEGEND - OVERALL PLANS

- OP01 EXISTING OPENING TO BE CONVERTED TO A WINDOW OPENING TO MATCH HISTORIC WINDOW PROFILE. REFER TO PROPOSED ELEVATIONS.
- OP04 EXISTING METAL FIRE DOOR TO BE CLEANED, PREPPED AND INSTALLED AT NEW LOCATION.
- OP12 EXISTING VAULT DOOR TO BE CLEANED, PREPPED AND INSTALLED AT NEW LOCATION.

tat

© The Architectural Team, Inc.
 50 Commandant's Way at Admiral's Hill
 Chelsea MA 02150
 O 617.889.440
 F 617.884.432
 architecturalteam.com

Consultant:

Revision:

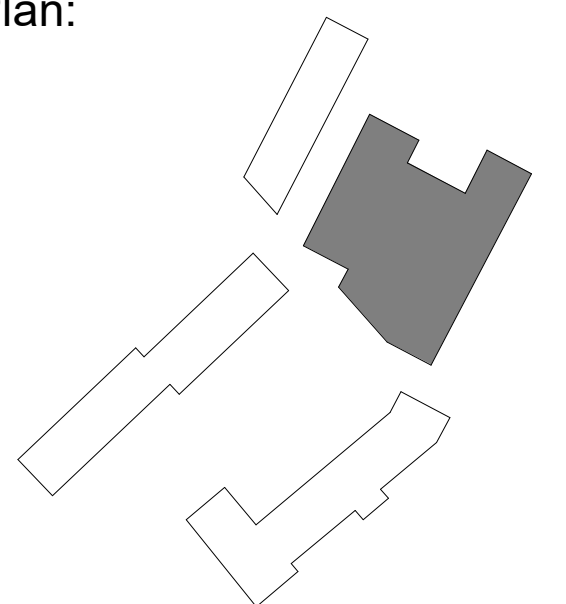
Architect of Record:

Drawn: EH

Checked: Checker

Scale: As indicated

Key Plan:



Project Name:

LaGrange Mill Lofts

47 LAGRANGE ST
 WORCESTER, MA 01608

Sheet Name:

BLDG 3 -
 OVERALL
 FLOOR PLAN -
 LEVEL 2

Project Number:

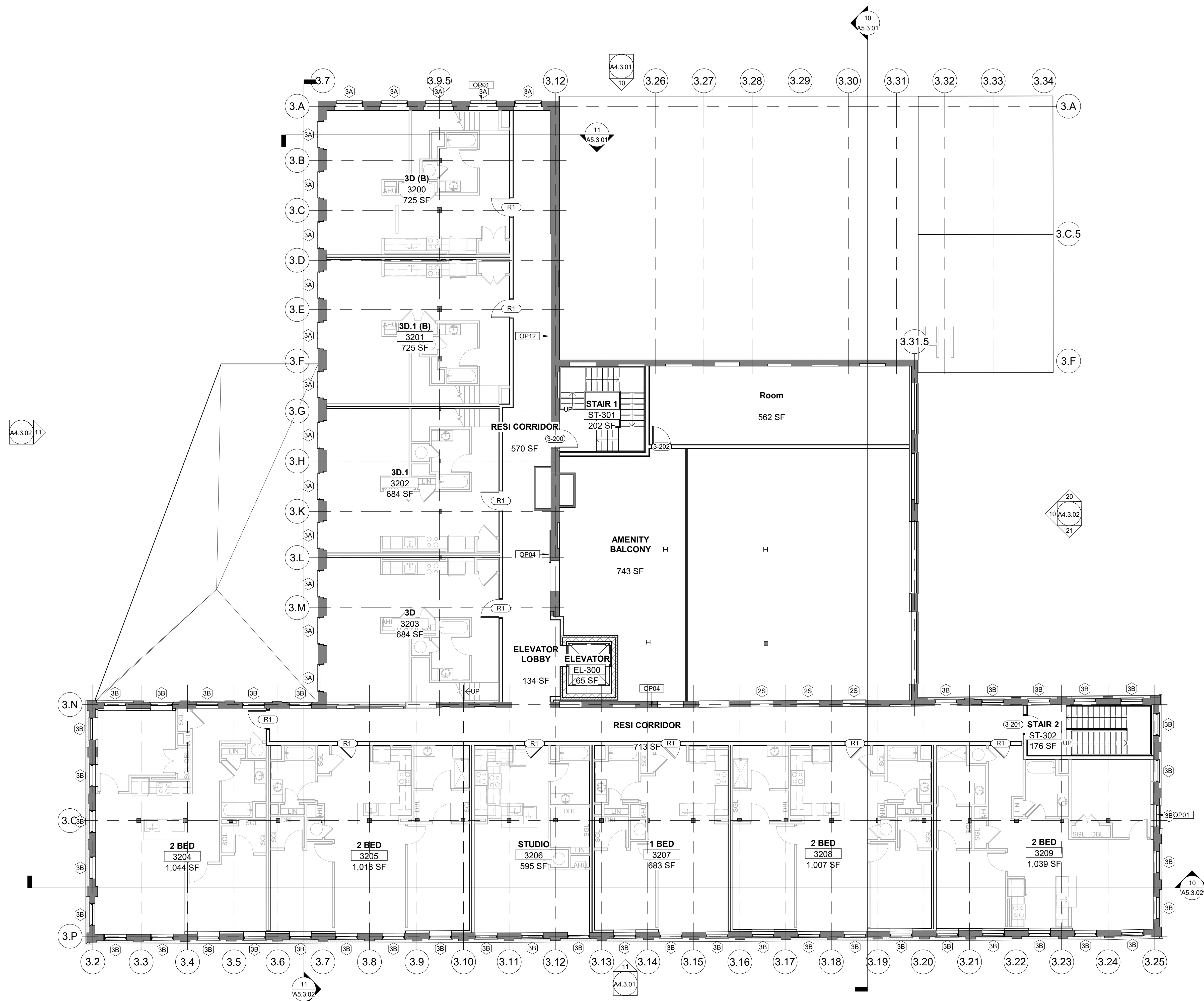
20094.00

Issue Date:

JUNE 30, 2021

Sheet Number:

A1.3.02



10 BLDG 3 - LEVEL 2 PLAN
 Scale: 1/8" = 1'-0"

GENERAL NOTES - OVERALL PLANS

- A. FIELD VERIFY ALL EXISTING CONDITIONS. VERIFY ACTUAL SITE CONDITIONS AND DIMENSIONS. COORDINATE SCOPE OF WORK WITH ALL TRADES.
- B. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, INTERIOR BRICK MASONRY WALLS SHALL BE REPAIRED AND LEFT EXPOSED. AREAS OF CHIEF CONCERN WILL BE PUBLIC AREAS & APARTMENT LIVING AREAS. OF LESSER CONCERN WILL BE WALLS IN BATHROOMS, KITCHENS, & CLOSETS. WHERE PAINTED FINISHES ARE PRESENT, THESE ARE TO BE RESTORED TO THEIR ORIGINAL APPEARANCE WITH METHODS APPROVED BY NPS. FOR ENERGY CONSERVATION, EXTERIOR WALLS IN BEDROOMS, BATHROOMS, & CLOSETS WILL BE FURRED TO A MAXIMUM OF 4", UNLESS OTHERWISE NOTED.
- C. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING CONCRETE FLOORS WILL BE RETAINED. WHERE POSSIBLE, THESE SHALL BE POLISHED AND LEFT EXPOSED IN THEIR NATURAL STATE. WHERE CONDITIONS CANNOT BE IMPROVED, A NEW FLOORING FINISH WILL BE PROVIDED AS TO NOT DAMAGE THE EXISTING CONCRETE.
- D. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING WOOD FLOORS AT GROUND LEVEL WILL BE RETAINED, LIGHTLY SANDED, AND SEALED WITH A CLEAR PROTECTIVE FINISH. WHERE CONDITIONS CANNOT BE IMPROVED, NEW REPLACEMENT WOOD FLOORING WILL BE PROVIDED.
- E. FOR ACOUSTIC PURPOSES, EXISTING WOOD FLOORING AT ALL LEVELS ABOVE GROUND FLOOR WILL BE COVERED IN AN ACOUSTIC MAT AND POURED CEMENTICIOUS TOPPING. NEW FLOORING FINISH TO VARY. REFER TO FINISH SCHEDULE.
- F. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING COLUMNS, BEAMS, AND UNDERSIDE OF WOOD DECKING WILL BE RESTORED USING METHODS APPROVED BY THE NPS AND SEALED WITH A CLEAR PROTECTIVE SEALANT. EXPOSED STRUCTURAL COMPONENTS WILL BE CLEANED AND PREPPED TO RECEIVE AN OPAQUE, PAINTED FINISH.

KEYNOTE LEGEND - OVERALL PLANS

- OP07 NEW ELEVATOR OVER-RUN.
- OP18 PROPOSED LOCATION OF NEW ROOF MECHANICAL EQUIPMENT. TO BE POSITIONED AS TO MITIGATE INTERFERENCE WITH HISTORIC SITE LINES.



© The Architectural Team, Inc.
 50 Commandant's Way at Admiral's Hill
 Chelsea MA 02150
 O 617.889.440
 F 617.884.432
 architecturalteam.com

Consultant:

Revision:

Architect of Record:

Drawn: EH
 Checked: Checker
 Scale: As indicated
 Key Plan:

Project Name:
LaGrange Mill Lofts

47 LAGRANGE ST
 WORCESTER, MA 01608

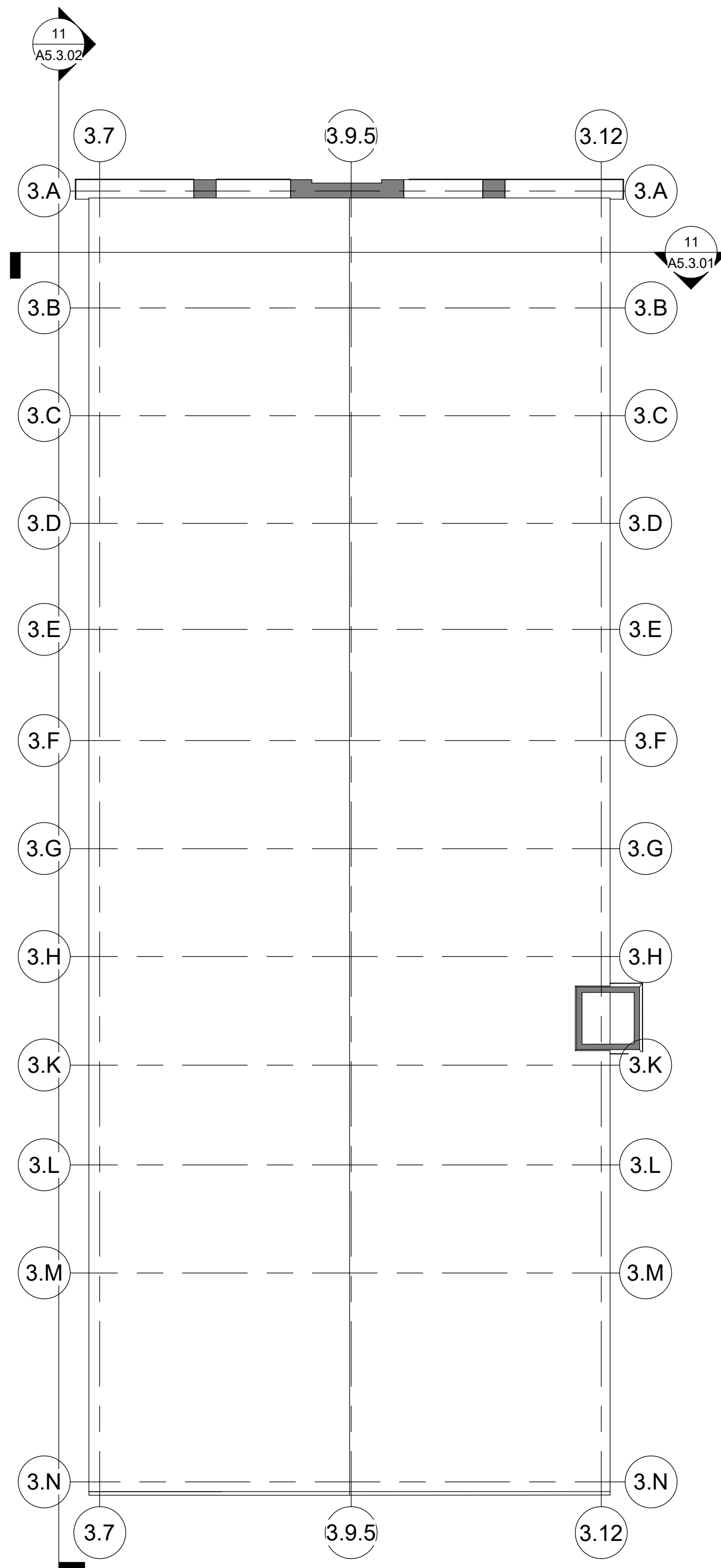
Sheet Name:
**BLDG 3 -
 OVERALL
 FLOOR PLANS -
 LEVEL 3 &
 ROOF**
 Project Number:

20094.00

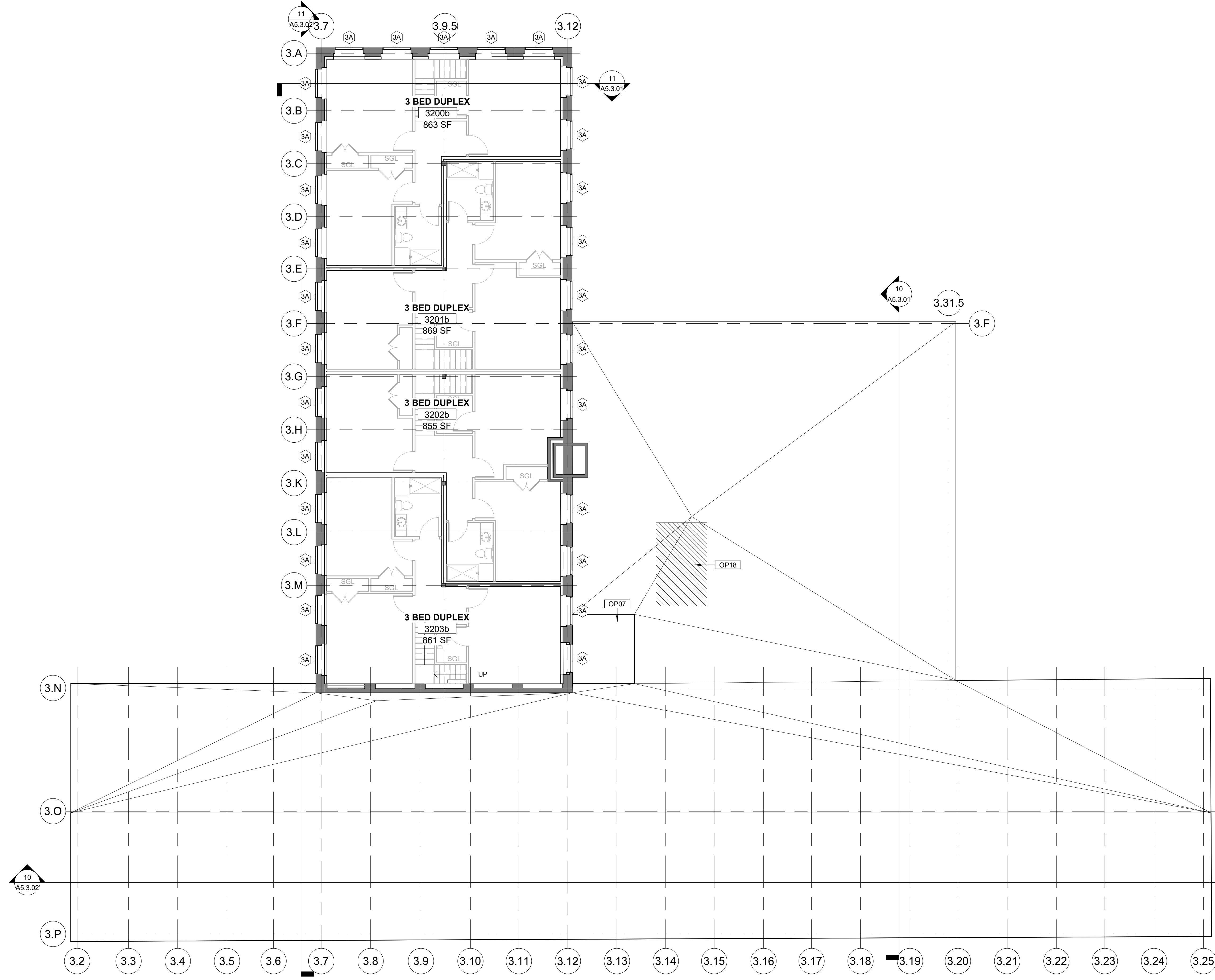
Issue Date:
JUNE 30, 2021

Sheet Number:

A1.3.03



20 BLDG 3 - ROOF PLAN
 Scale: 1/8" = 1'-0"



10 BLDG 3 - LEVEL 3 PLAN
 Scale: 1/8" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

- A. FIELD VERIFY ALL EXISTING CONDITIONS. VERIFY ACTUAL SITE CONDITIONS AND DIMENSIONS. COORDINATE SCOPE OF WORK WITH ALL TRADES.
- B. ALL EXISTING ELEMENTS TO REMAIN IN-SITU ARE TO BE PROTECTED FROM DAMAGE.
- C. ALL EXISTING MASONRY AND STONE SHALL BE CLEANED. SELECTIVE REPOINTING OF MORTAR JOINTS AND REPAIR OF MASONRY WILL BE PERFORMED AS NECESSARY. ALL MASONRY SCOPE SHALL UTILIZE METHODS AND PRODUCTS APPROVED BY THE NPS.
- D. ALL EXISTING WINDOES ARE TO BE REPLACED WITH NEW ALUMINUM WINDOWS WITH CUSTOM EXTRUDED MOLDING TO REPLICATE HISTORIC BRICK MOLDS, HEAD TRIM, AND SILL TRIM (WHERE APPLICABLE). WINDOW PANES TO MATCH PROFILE OF HISTORIC WINDOWS TO THE BEST KNOWLEDGE POSSIBLE.
- E. ALL EXISTING WOOD CORNICE ELEMENTS (BRACKETS, FASCIA, TRIM BOARD, ETC.) ARE TO BE CLEANED AND REUSED TO THE GREATEST EXTENT POSSIBLE. ALL WOOD SHALL BE SCRAPED OF ALL FRIABLE EXISTING PAINT, SURFACED TO BE PRIMED AND REPAINTED. ELEMENTS WILL BE REPAIRED OR REPLACED UTILIZING CUSTOM PROFILES TO MATCH EXISTING CONDITIONS.
- F. ALL EXISTING BUILT-UP ROOFING SYSTEMS & ASSEMBLIES SHALL BE REPLACED WITH NEW INSULATED TPO ROOF. NEW FLASHING AND SHEET METAL TO REPLACE EXISTING.
- G. WHERE NOTED, REMOVE EXTERIOR APPLIED PAINT WITH METHODS APPROVED BY THE NPS. IF UNABLE TO ACHIEVE WITHOUT DAMAGING EXISTING MASONRY, AN APPROPRIATE OPAQUE MASONRY SEALER WILL BE USED IN THOSE AREAS THAT HAVE ALREADY BEEN PAINTED.

KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL04 EXISTING OPENING TO RECEIVE MASONRY INFILL SET BACK WITH A 1" EXTERIOR REVEAL. NEW MASONRY INFILL TO MATCH EXISTING ADJACENT CONDITIONS.
- EL05 REMOVE EXTERIOR APPLIED PAINT - TYPICAL AT ENTIRE GROUND FLOOR.



© The Architectural Team, Inc.
 50 Commandant's Way at Admiral's Hill
 Chelsea MA 02150
 O 617.889.440
 F 617.884.432
 architecturalteam.com

Consultant:

Revision:

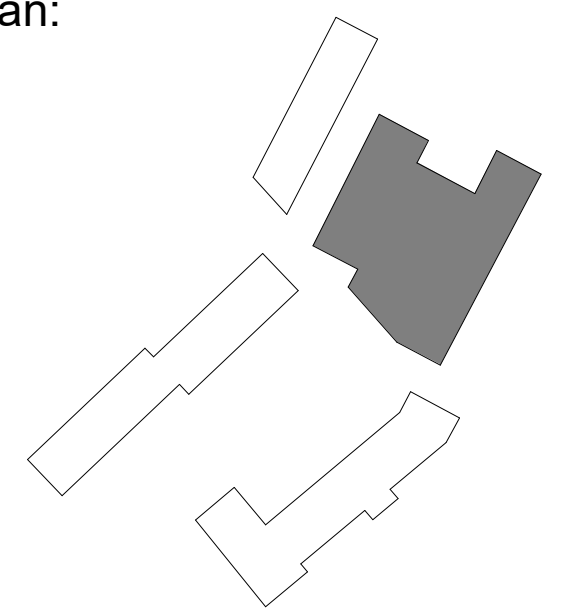
Architect of Record:

Drawn: EH

Checked: Checker

Scale: As indicated

Key Plan:



Project Name:

LaGrange Mill Lofts

47 LAGRANGE ST
 WORCESTER, MA 01608

Sheet Name:

BLDG 3 -
 EXTERIOR
 ELEVATIONS

Project Number:

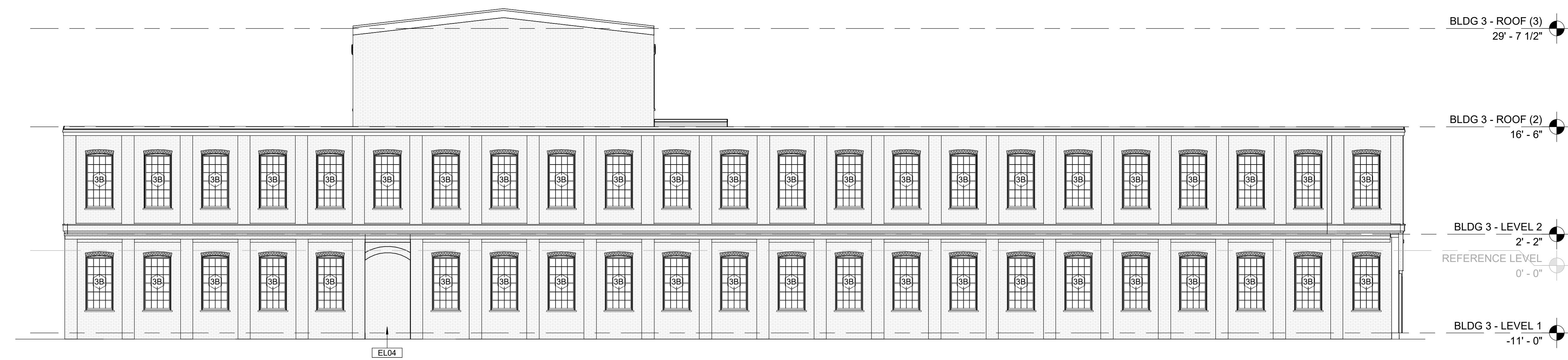
20094.00

Issue Date:

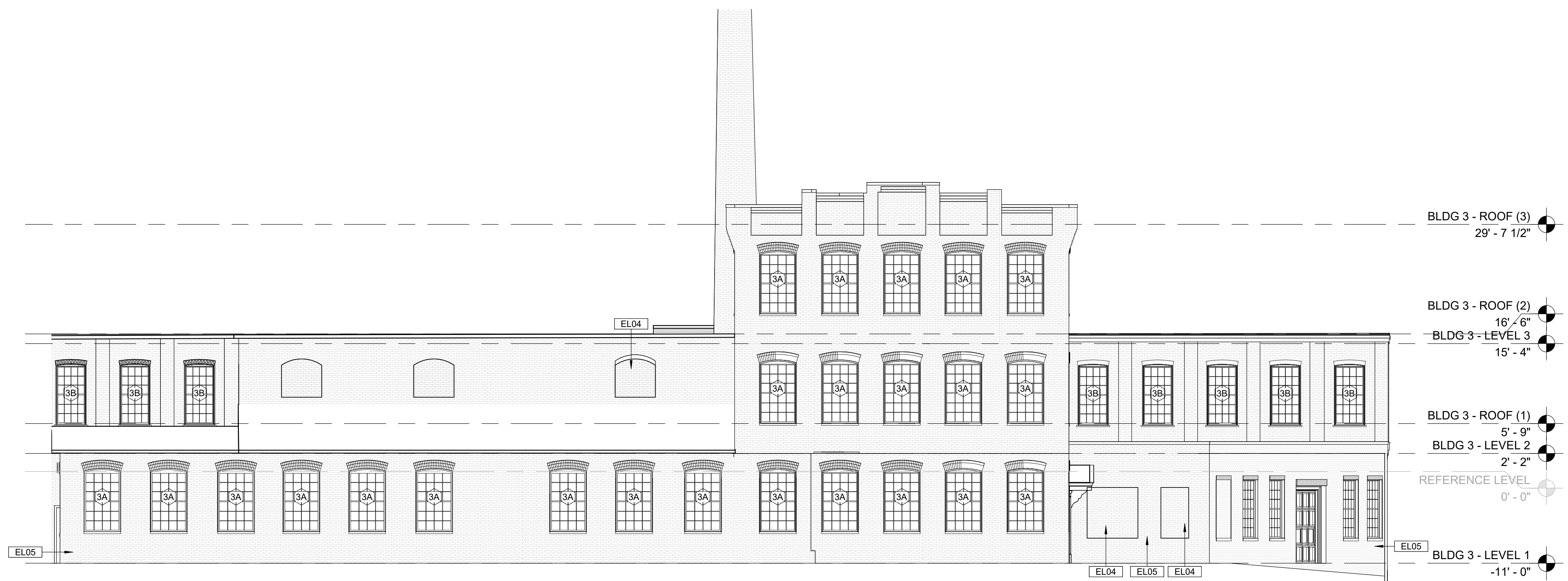
JUNE 30, 2021

Sheet Number:

A4.3.01



11 BLDG 3 - SOUTH ELEVATION
 Scale: 1/8" = 1'-0"



10 BLDG 3 - NORTH ELEVATION
 Scale: 1/8" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

- A. FIELD VERIFY ALL EXISTING CONDITIONS. VERIFY ACTUAL SITE CONDITIONS AND DIMENSIONS. COORDINATE SCOPE OF WORK WITH ALL TRADES.
- B. ALL EXISTING ELEMENTS TO REMAIN IN-SITU ARE TO BE PROTECTED FROM DAMAGE.
- C. ALL EXISTING MASONRY AND STONE SHALL BE CLEANED. SELECTIVE REPOINTING OF MORTAR JOINTS AND REPAIR OF MASONRY WILL BE PERFORMED AS NECESSARY. ALL MASONRY SCOPE SHALL UTILIZE METHODS AND PRODUCTS APPROVED BY THE NPS.
- D. ALL EXISTING WINDOWS ARE TO BE REPLACED WITH NEW ALUMINUM WINDOWS WITH CUSTOM EXTRUDED MOLDING TO REPLICATE HISTORIC BRICK MOLDS, HEAD TRIM, AND SILL TRIM (WHERE APPLICABLE). WINDOW PANES TO MATCH PROFILE OF HISTORIC WINDOWS TO THE BEST KNOWLEDGE POSSIBLE.
- E. ALL EXISTING WOOD CORNICE ELEMENTS (BRACKETS, FASCIA, TRIM BOARD, ETC.) ARE TO BE CLEANED AND REUSED TO THE GREATEST EXTENT POSSIBLE. ALL WOOD SHALL BE SCRAPPED OF ALL FRIABLE EXISTING PAINT, SURFACED TO BE PRIMED AND REPAINTED. ELEMENTS WILL BE REPAIRED OR REPLACED UTILIZING CUSTOM PROFILES TO MATCH EXISTING CONDITIONS.
- F. ALL EXISTING BUILT-UP ROOFING SYSTEMS & ASSEMBLIES SHALL BE REPLACED WITH NEW INSULATED TPO ROOF. NEW FLASHING AND SHEET METAL TO REPLACE EXISTING.
- G. WHERE NOTED, REMOVE EXTERIOR APPLIED PAINT WITH METHODS APPROVED BY THE NPS. IF UNABLE TO ACHIEVE WITHOUT DAMAGING EXISTING MASONRY, AN APPROPRIATE OPAQUE MASONRY SEALER WILL BE USED IN THOSE AREAS THAT HAVE ALREADY BEEN PAINTED.

KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL05 REMOVE EXTERIOR APPLIED PAINT - TYPICAL AT ENTIRE GROUND FLOOR.
- EL07 NEW ELEVATOR OVER-RUN.
- EL09 NEW MASONRY INFILL TO MATCH EXISTING ADJACENT CONDITIONS.
- EL12 NEW WALL PANEL SYSTEM IN EXISTING OPENING.



© The Architectural Team, Inc.
 50 Commandant's Way at Admiral's Hill
 Chelsea MA 02150
 O 617.889.440
 F 617.884.432
 architecturalteam.com

Consultant:

Revision:

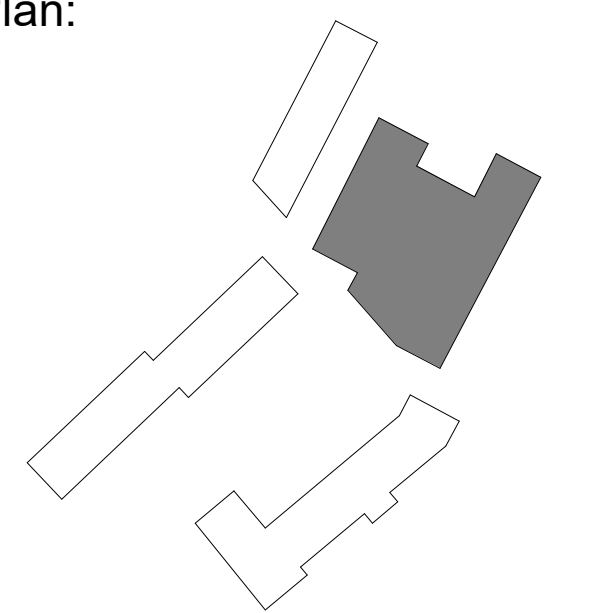
Architect of Record:

Drawn: EH

Checked: Checker

Scale: As indicated

Key Plan:



Project Name:

LaGrange Mill Lofts

47 LAGRANGE ST
 WORCESTER, MA 01608

Sheet Name:

BLDG 3 -
 EXTERIOR
 ELEVATIONS

Project Number:

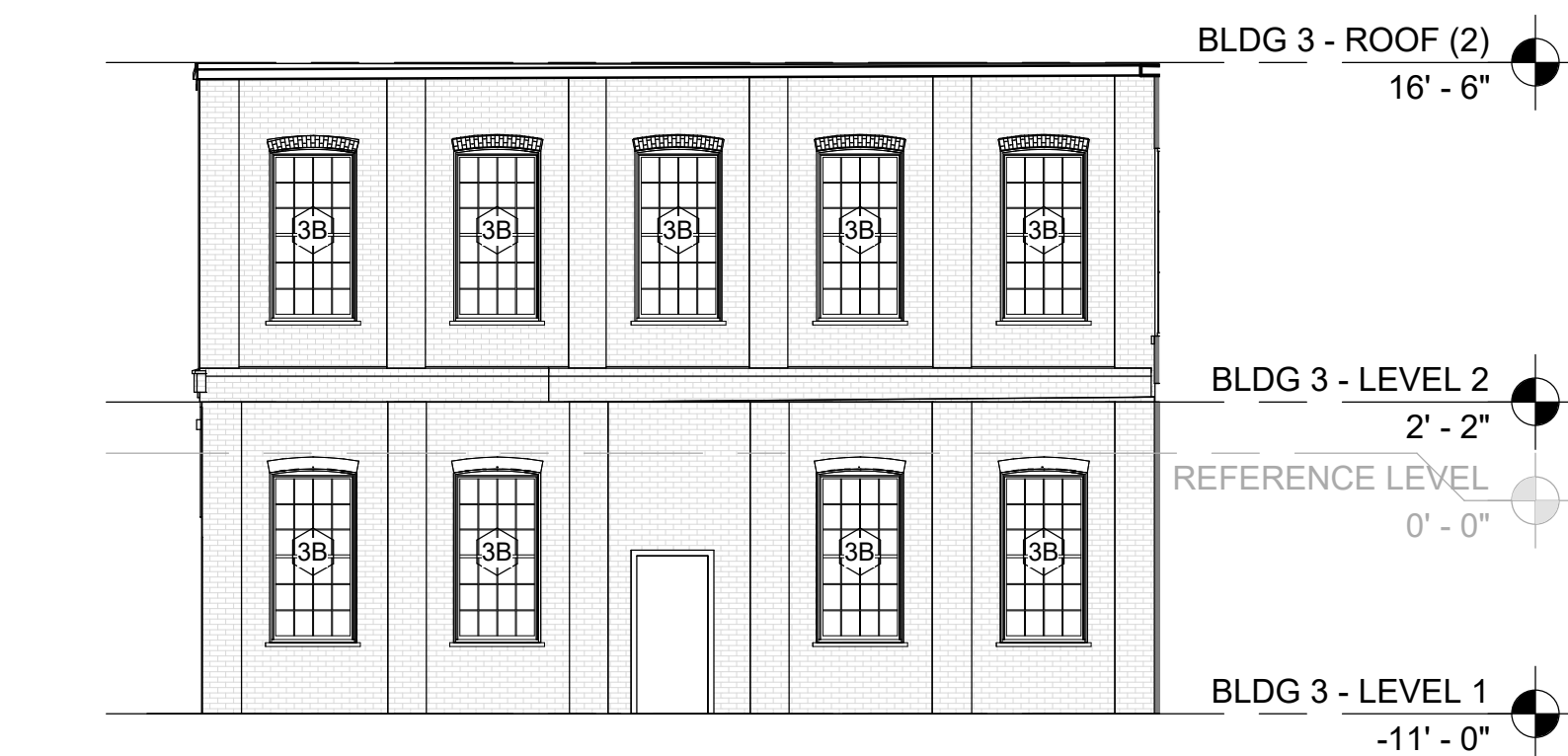
20094.00

Issue Date:

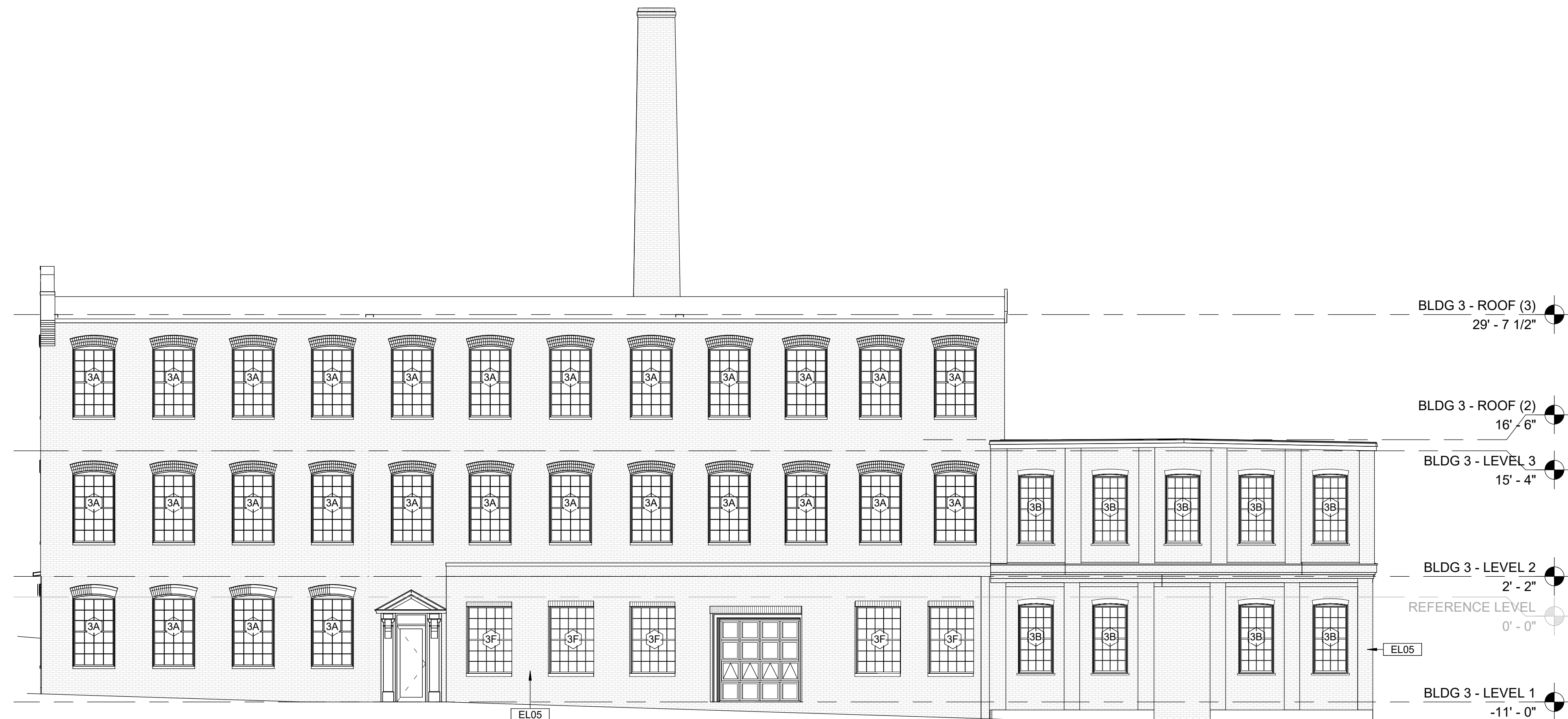
JUNE 30, 2021

Sheet Number:

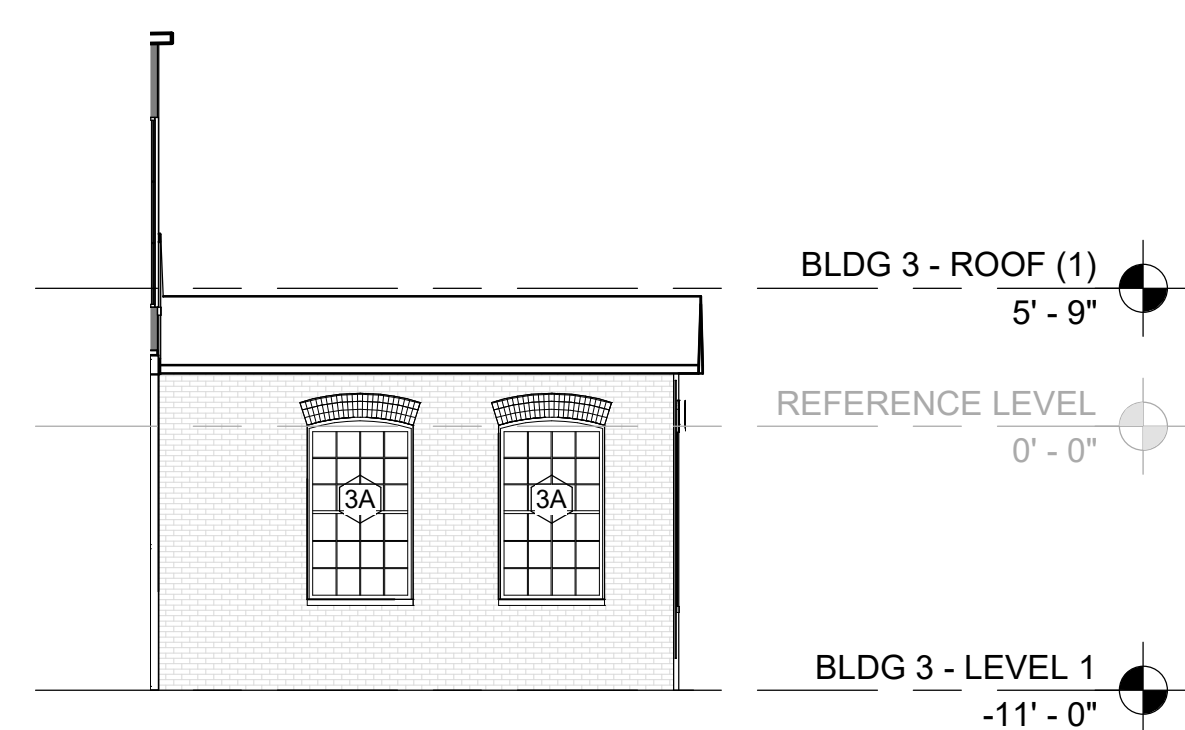
A4.3.02



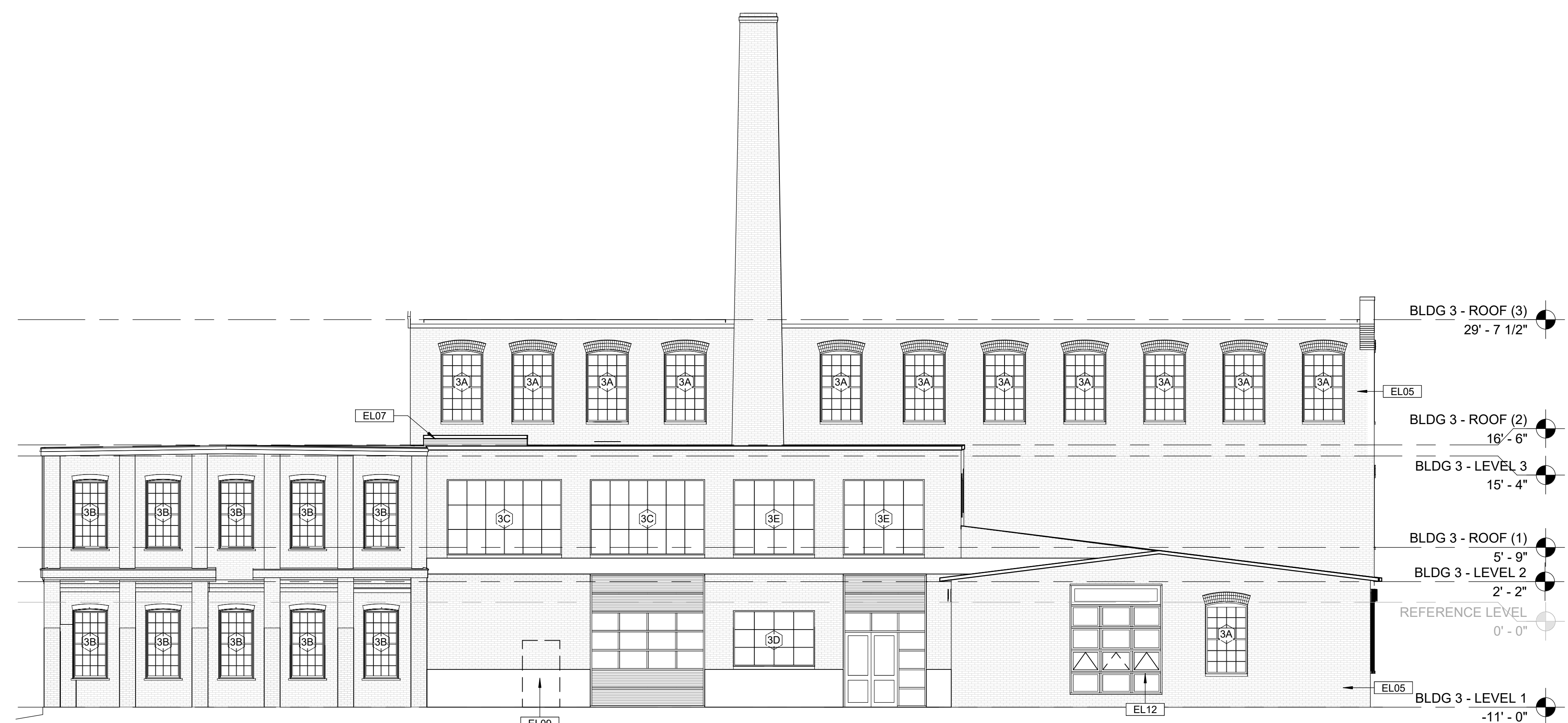
21 BLDG 3 - WING 2 ELEVATION
 Scale: 1/8" = 1'-0"



11 BLDG 3 - WEST ELEVATION
 Scale: 1/8" = 1'-0"



20 BLDG 3 - WING 1 ELEVATION
 Scale: 1/8" = 1'-0"



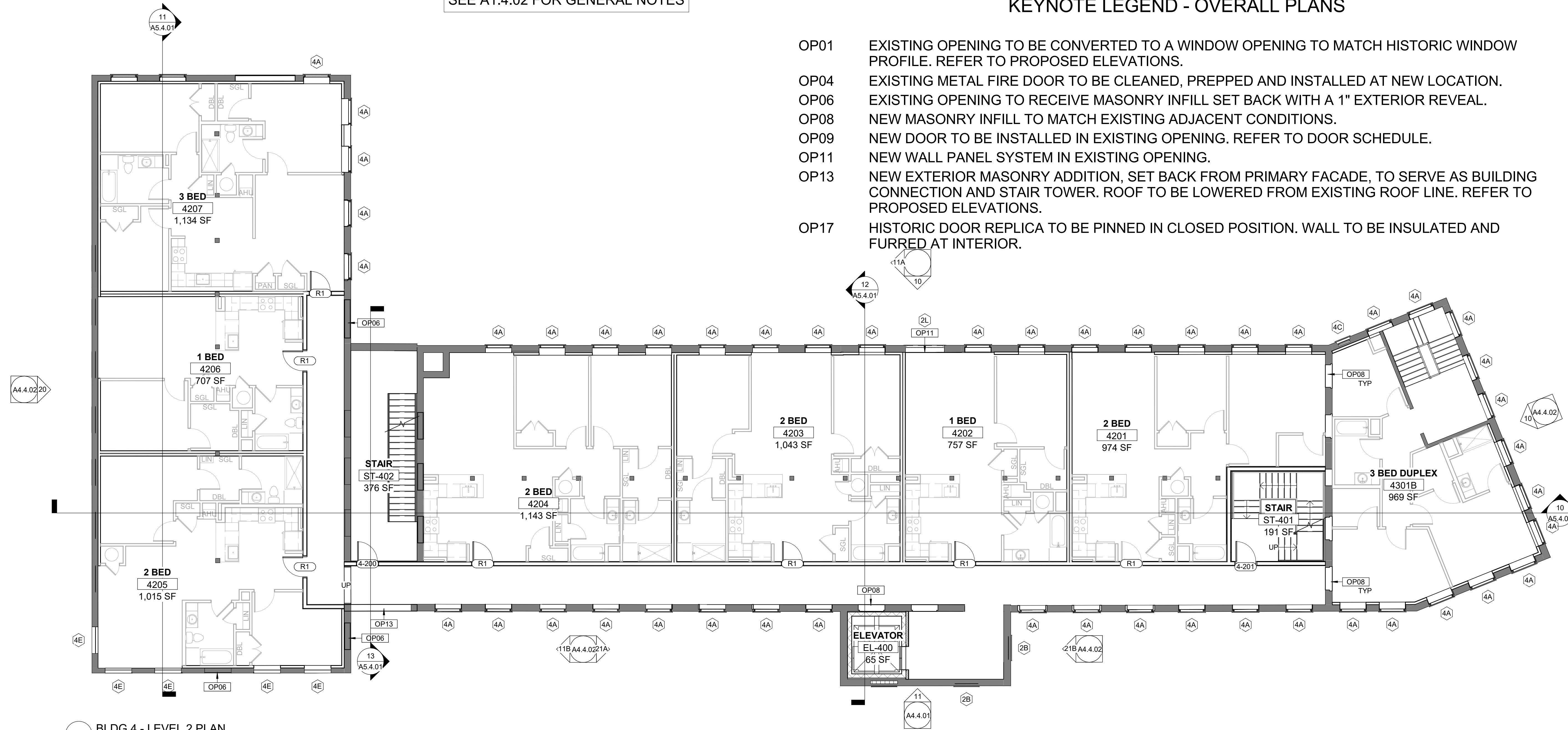
10 BLDG 3 - EAST ELEVATION
 Scale: 1/8" = 1'-0"

BUILDING 4 - 50 LAGRANGE					
	TYPE	BED	BATH	DEN	GSF
FLOOR 1	4C.2	2	2	-	1136
	4C.1	2	2	-	1026
	4A	STUDIO	1	-	539
	4C	2	1	-	963
	4D	3	2.5	1	1765
FLOOR 2	4D.1	3	2	-	1132
	4B.1	1	1	-	707
	4C.3	2	2	-	1015
	4C.1	2	2	-	1035
	4C.2	2	2	-	1143
	4B	1	1	-	765
	4C	2	1	-	974
FLOOR 3	4C.2	2	2	-	1144
	4C.1	2	2	-	1036
	4B	1	1	-	764
	4B.1	1	1	-	723
	4D.2	3	2	-	1174
UNIT TOTAL					17,041
BUILDING TOTAL					25,061

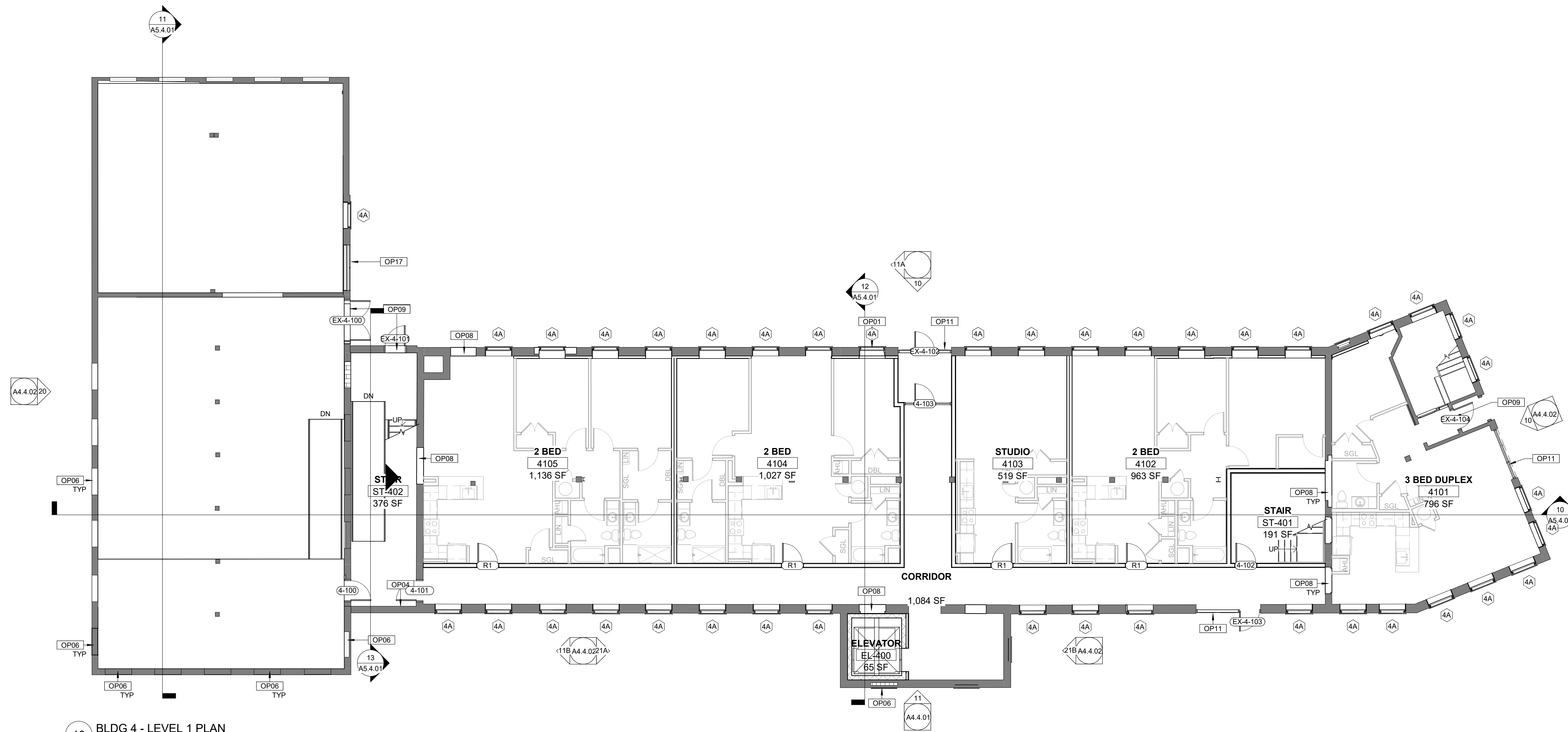
SEE A1.4.02 FOR GENERAL NOTES

KEYNOTE LEGEND - OVERALL PLANS

- OP01 EXISTING OPENING TO BE CONVERTED TO A WINDOW OPENING TO MATCH HISTORIC WINDOW PROFILE. REFER TO PROPOSED ELEVATIONS.
- OP04 EXISTING METAL FIRE DOOR TO BE CLEANED, PREPPED AND INSTALLED AT NEW LOCATION.
- OP06 EXISTING OPENING TO RECEIVE MASONRY INFILL SET BACK WITH A 1" EXTERIOR REVEAL.
- OP08 NEW MASONRY INFILL TO MATCH EXISTING ADJACENT CONDITIONS.
- OP09 NEW DOOR TO BE INSTALLED IN EXISTING OPENING. REFER TO DOOR SCHEDULE.
- OP11 NEW WALL PANEL SYSTEM IN EXISTING OPENING.
- OP13 NEW EXTERIOR MASONRY ADDITION, SET BACK FROM PRIMARY FACADE, TO SERVE AS BUILDING CONNECTION AND STAIR TOWER. ROOF TO BE LOWERED FROM EXISTING ROOF LINE. REFER TO PROPOSED ELEVATIONS.
- OP17 HISTORIC DOOR REPLICA TO BE PINNED IN CLOSED POSITION. WALL TO BE INSULATED AND FURRED AT INTERIOR.



11 BLDG 4 - LEVEL 2 PLAN
Scale: 1/8" = 1'-0"



10 BLDG 4 - LEVEL 1 PLAN
Scale: 1/8" = 1'-0"



© The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
O 617.889.440
F 617.884.432
architecturalteam.com

Consultant:

Revision:

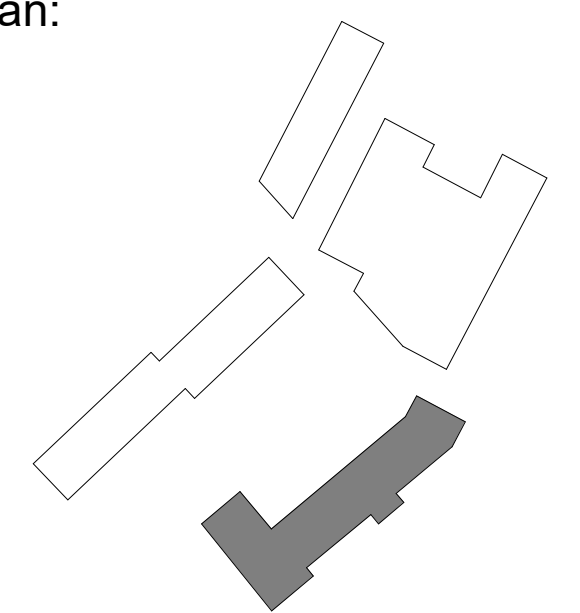
Architect of Record:

Drawn: EH

Checked: Checker

Scale: As indicated

Key Plan:



Project Name:

LaGrange Mill Lofts

50 LAGRANGE ST
WORCESTER, MA 01608

Sheet Name:

BLDG 4 -
OVERALL
FLOOR PLANS -
LEVELS 1 & 2

Project Number:

20094.00

Issue Date:

JUNE 30, 2021

Sheet Number:

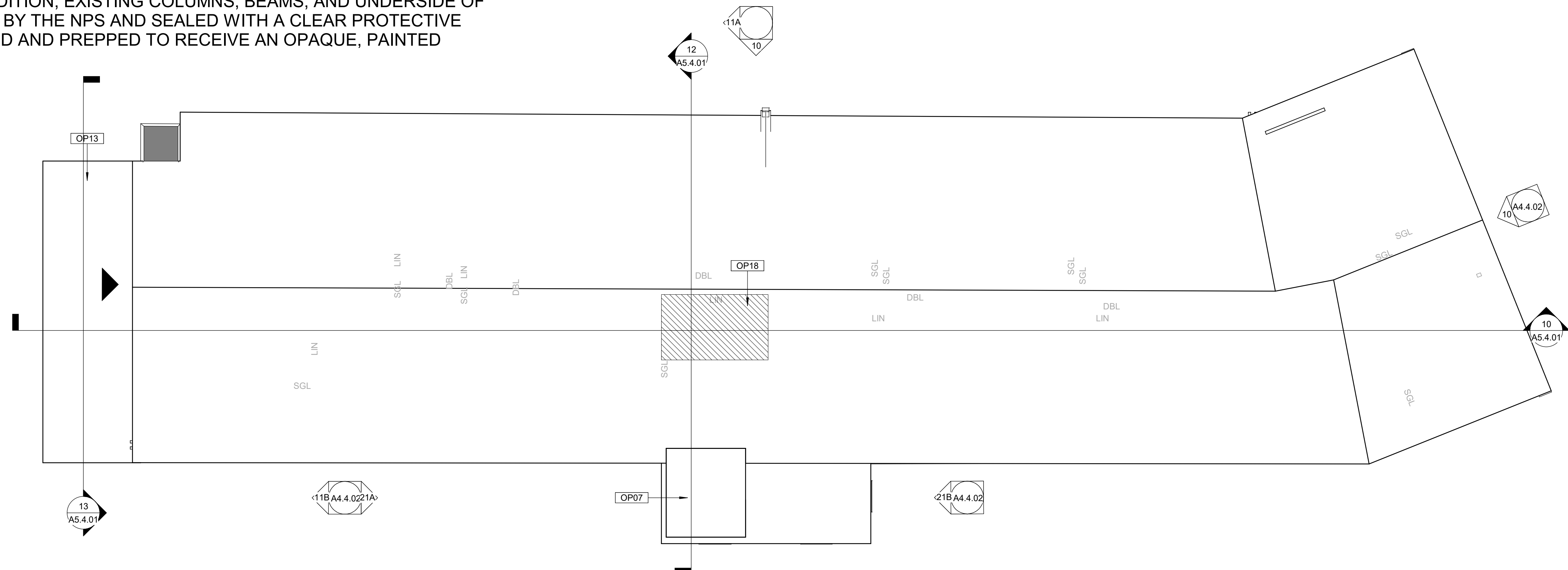
A1.4.01

GENERAL NOTES - OVERALL PLANS

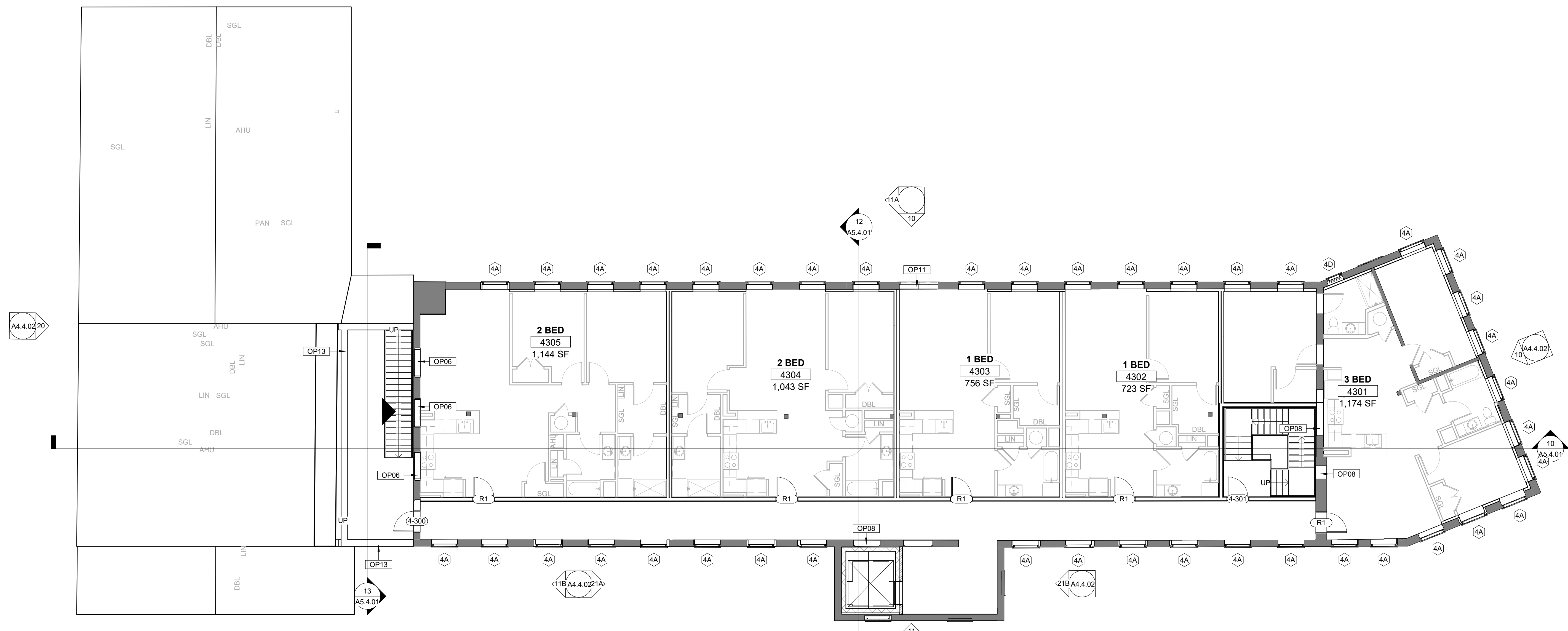
- A. FIELD VERIFY ALL EXISTING CONDITIONS. VERIFY ACTUAL SITE CONDITIONS AND DIMENSIONS. COORDINATE SCOPE OF WORK WITH ALL TRADES.
- B. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, INTERIOR BRICK MASONRY WALLS SHALL BE REPAIRED AND LEFT EXPOSED. AREAS OF CHIEF CONCERN WILL BE PUBLIC AREAS & APARTMENT LIVING AREAS. OF LESSER CONCERN WILL BE WALLS IN BATHROOMS, KITCHENS, & CLOSETS. WHERE PAINTED FINISHES ARE PRESENT, THESE ARE TO BE RESTORED TO THEIR ORIGINAL APPEARANCE WITH METHODS APPROVED BY NPS. FOR ENERGY CONSERVATION, EXTERIOR WALLS IN BEDROOMS, BATHROOMS, & CLOSETS WILL BE FURRED TO A MAXIMUM OF 4", UNLESS OTHERWISE NOTED.
- C. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING CONCRETE FLOORS WILL BE RETAINED. WHERE POSSIBLE, THESE SHALL BE POLISHED AND LEFT EXPOSED IN THEIR NATURAL STATE. WHERE CONDITIONS CANNOT BE IMPROVED, A NEW FLOORING FINISH WILL BE PROVIDED AS TO NOT DAMAGE THE EXISTING CONCRETE.
- D. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING WOOD FLOORS AT GROUND LEVEL WILL BE RETAINED, LIGHTLY SANDED, AND SEALED WITH A CLEAR PROTECTIVE FINISH. WHERE CONDITIONS CANNOT BE IMPROVED, NEW REPLACEMENT WOOD FLOORING WILL BE PROVIDED.
- E. FOR ACOUSTIC PURPOSES, EXISTING WOOD FLOORING AT ALL LEVELS ABOVE GROUND FLOOR WILL BE COVERED IN AN ACOUSTIC MAT AND POURED CEMENTICIOUS TOPPING. NEW FLOORING FINISH TO VARY. REFER TO FINISH SCHEDULE.
- F. TO THE GREATEST EXTENT POSSIBLE, AND WHERE IN GOOD CONDITION, EXISTING COLUMNS, BEAMS, AND UNDERSIDE OF WOOD DECKING WILL BE RESTORED USING METHODS APPROVED BY THE NPS AND SEALED WITH A CLEAR PROTECTIVE SEALANT. EXPOSED STRUCTURAL COMPONENTS WILL BE CLEANED AND PREPPED TO RECEIVE AN OPAQUE, PAINTED FINISH.

KEYNOTE LEGEND - OVERALL PLANS

- OP06 EXISTING OPENING TO RECEIVE MASONRY INFILL SET BACK WITH A 1" EXTERIOR REVEAL.
- OP07 NEW ELEVATOR OVER-RUN.
- OP08 NEW MASONRY INFILL TO MATCH EXISTING ADJACENT CONDITIONS.
- OP11 NEW WALL PANEL SYSTEM IN EXISTING OPENING.
- OP13 NEW EXTERIOR MASONRY ADDITION, SET BACK FROM PRIMARY FACADE, TO SERVE AS BUILDING CONNECTION AND STAIR TOWER. ROOF TO BE LOWERED FROM EXISTING ROOF LINE. REFER TO PROPOSED ELEVATIONS.
- OP18 PROPOSED LOCATION OF NEW ROOF MECHANICAL EQUIPMENT. TO BE POSITIONED AS TO MITIGATE INTERFERENCE WITH HISTORIC SITE LINES.



11 BLDG 4 - ROOF PLAN
Scale: 1/8" = 1'-0"



10 BLDG 4 - LEVEL 3 PLAN
Scale: 1/8" = 1'-0"



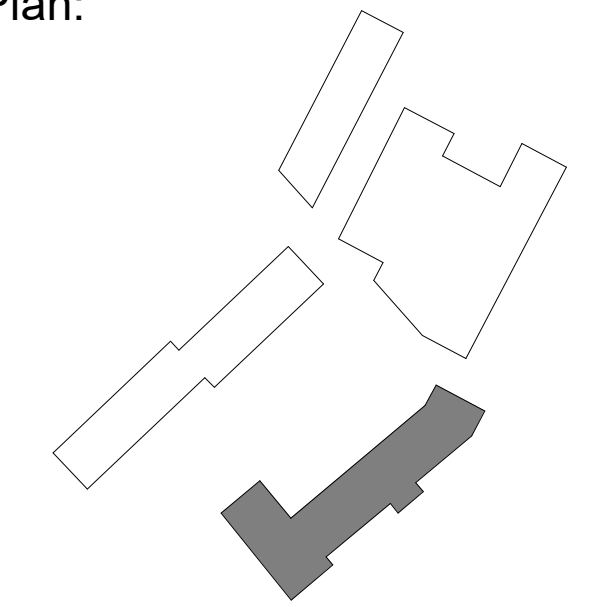
© The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
O 617.889.440
F 617.884.432
architecturalteam.com

Consultant:

Revision:

Architect of Record:

Drawn: EH
Checked: Checker
Scale: As indicated
Key Plan:



Project Name:
LaGrange Mill Lofts

50 LAGRANGE ST
WORCESTER, MA 01608

Sheet Name:
BLDG 4 - OVERALL FLOOR PLANS - LEVEL 3 & ROOF
Project Number:
20094.00

Issue Date:
JUNE 30, 2021

Sheet Number:
A1.4.02

GENERAL NOTES - EXTERIOR ELEVATIONS

- A. FIELD VERIFY ALL EXISTING CONDITIONS. VERIFY ACTUAL SITE CONDITIONS AND DIMENSIONS. COORDINATE SCOPE OF WORK WITH ALL TRADES.
- B. ALL EXISTING ELEMENTS TO REMAIN IN-SITU ARE TO BE PROTECTED FROM DAMAGE.
- C. ALL EXISTING MASONRY AND STONE SHALL BE CLEANED. SELECTIVE REPOINTING OF MORTAR JOINTS AND REPAIR OF MASONRY WILL BE PERFORMED AS NECESSARY. ALL MASONRY SCOPE SHALL UTILIZE METHODS AND PRODUCTS APPROVED BY THE NPS.
- D. ALL EXISTING WINDOWS ARE TO BE REPLACED WITH NEW ALUMINUM WINDOWS WITH CUSTOM EXTRUDED MOLDING TO REPLICATE HISTORIC BRICK MOLDS, HEAD TRIM, AND SILL TRIM (WHERE APPLICABLE). WINDOW PANES TO MATCH PROFILE OF HISTORIC WINDOWS TO THE BEST KNOWLEDGE POSSIBLE.
- E. ALL EXISTING WOOD CORNICE ELEMENTS (BRACKETS, FASCIA, TRIM BOARD, ETC.) ARE TO BE CLEANED AND REUSED TO THE GREATEST EXTENT POSSIBLE. ALL WOOD SHALL BE SCRAPED OF ALL FRIABLE EXISTING PAINT, SURFACED TO BE PRIMED AND REPAINTED. ELEMENTS WILL BE REPAIRED OR REPLACED UTILIZING CUSTOM PROFILES TO MATCH EXISTING CONDITIONS.
- F. ALL EXISTING BUILT-UP ROOFING SYSTEMS & ASSEMBLIES SHALL BE REPLACED WITH NEW INSULATED TPO ROOF. NEW FLASHING AND SHEET METAL TO REPLACE EXISTING.
- G. WHERE NOTED, REMOVE EXTERIOR APPLIED PAINT WITH METHODS APPROVED BY THE NPS. IF UNABLE TO ACHIEVE WITHOUT DAMAGING EXISTING MASONRY, AN APPROPRIATE OPAQUE MASONRY SEALER WILL BE USED IN THOSE AREAS THAT HAVE ALREADY BEEN PAINTED.

KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL01 EXISTING OPENING TO BE CONVERTED TO A WINDOW OPENING TO MATCH HISTORIC WINDOW PROFILE. REFER TO PROPOSED PLANS & ELEVATIONS.
- EL04 EXISTING OPENING TO RECEIVE MASONRY INFILL SET BACK WITH A 1" EXTERIOR REVEAL. NEW MASONRY INFILL TO MATCH EXISTING ADJACENT CONDITIONS.
- EL07 NEW ELEVATOR OVER-RUN.
- EL12 NEW WALL PANEL SYSTEM IN EXISTING OPENING.
- EL13 NEW EXTERIOR MASONRY ADDITION. NEW MASONRY TO MATCH EXISTING ADJACENT CONDITIONS. NEW STANDING SEAM ROOF TO BE SET LOWER THAN EXISTING ROOF LINE.



© The Architectural Team, Inc.
 50 Commandant's Way at Admiral's Hill
 Chelsea MA 02150
 O 617.889.440
 F 617.884.432
 architecturalteam.com

Consultant:

Revision:

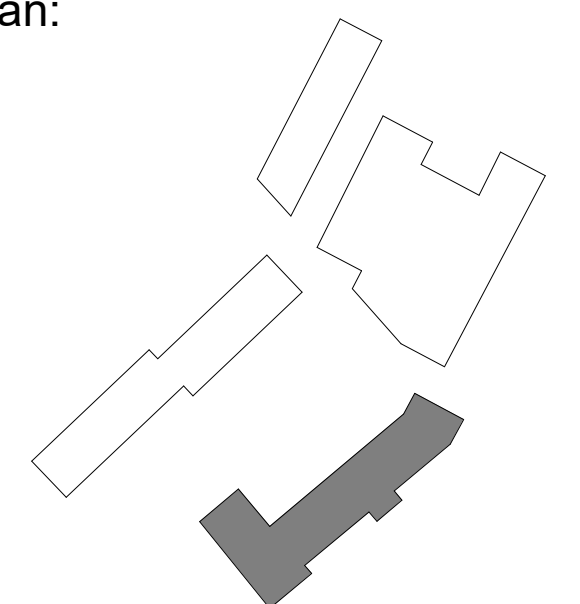
Architect of Record:

Drawn: EH

Checked: Checker

Scale: As indicated

Key Plan:



Project Name:

LaGrange Mill Lofts

50 LAGRANGE ST
 WORCESTER, MA 01608

Sheet Name:

BLDG 4 -
 EXTERIOR
 ELEVATIONS

Project Number:

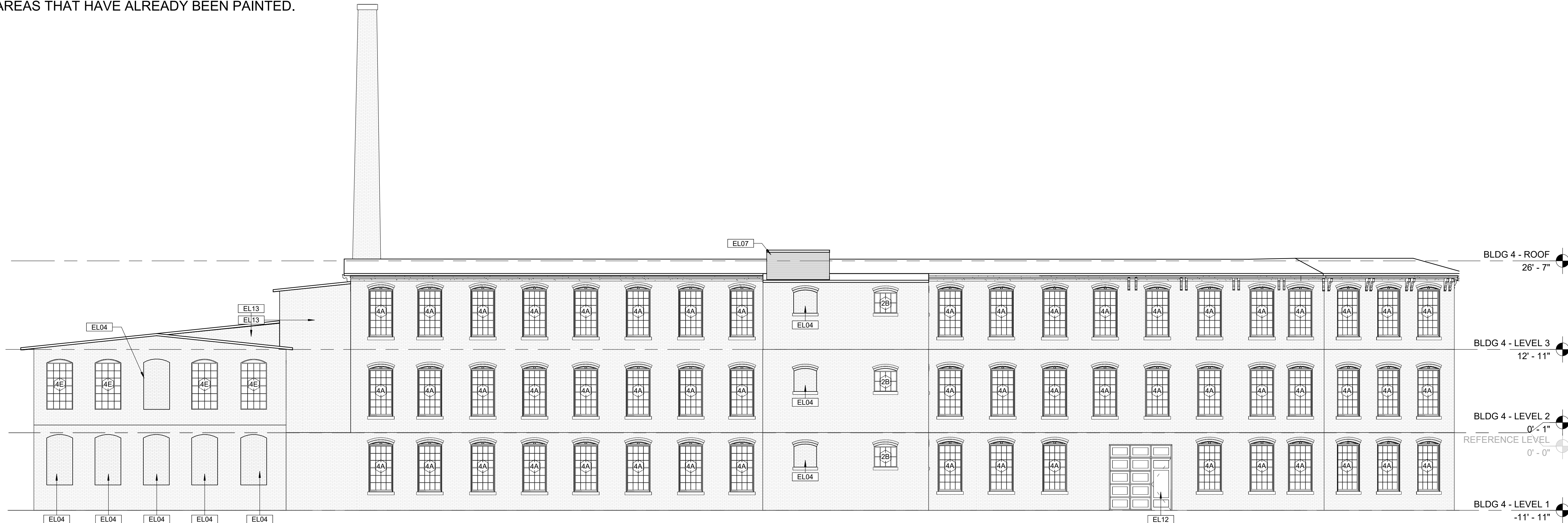
20094.00

Issue Date:

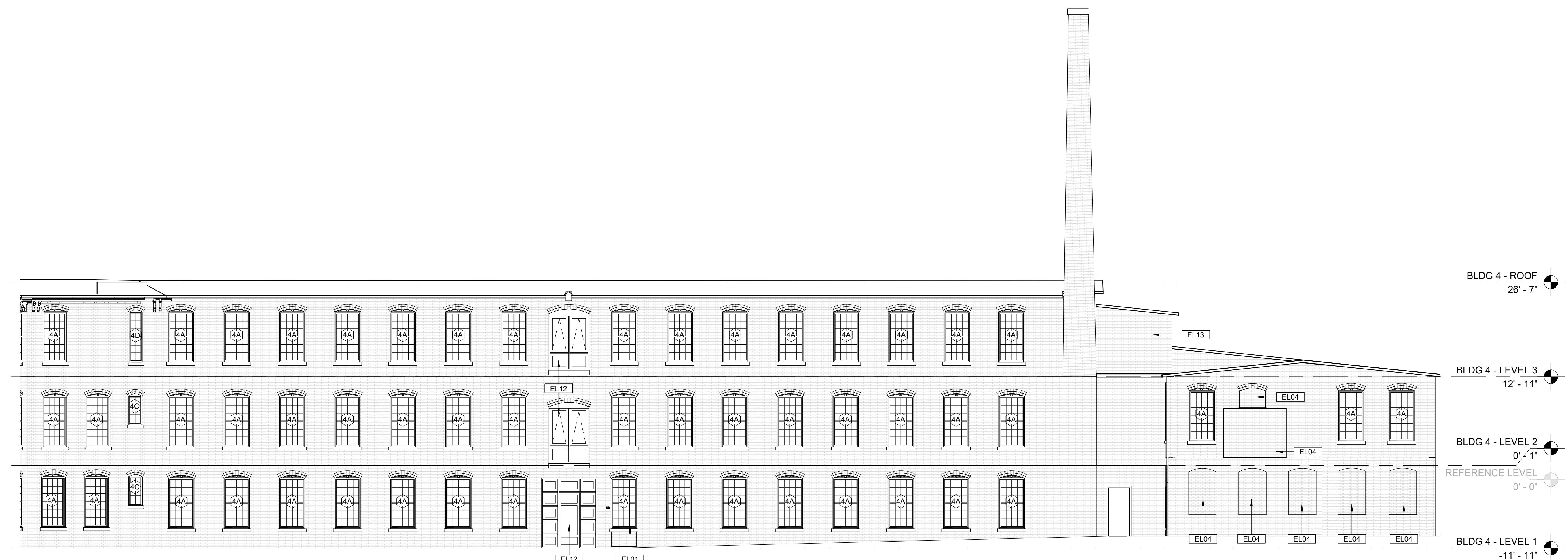
JUNE 30, 2021

Sheet Number:

A4.4.01



11 BLDG 4 - SOUTH ELEVATION
 Scale: 1/8" = 1'-0"



10 BLDG 4 - NORTH ELEVATION
 Scale: 1/8" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

- A. FIELD VERIFY ALL EXISTING CONDITIONS. VERIFY ACTUAL SITE CONDITIONS AND DIMENSIONS. COORDINATE SCOPE OF WORK WITH ALL TRADES.
- B. ALL EXISTING ELEMENTS TO REMAIN IN-SITU ARE TO BE PROTECTED FROM DAMAGE.
- C. ALL EXISTING MASONRY AND STONE SHALL BE CLEANED. SELECTIVE REPOINTING OF MORTAR JOINTS AND REPAIR OF MASONRY WILL BE PERFORMED AS NECESSARY. ALL MASONRY SCOPE SHALL UTILIZE METHODS AND PRODUCTS APPROVED BY THE NPS.
- D. ALL EXISTING WINDOWS ARE TO BE REPLACED WITH NEW ALUMINUM WINDOWS WITH CUSTOM EXTRUDED MOLDING TO REPLICATE HISTORIC BRICK MOLDS, HEAD TRIM, AND SILL TRIM (WHERE APPLICABLE). WINDOW PANES TO MATCH PROFILE OF HISTORIC WINDOWS TO THE BEST KNOWLEDGE POSSIBLE.
- E. ALL EXISTING WOOD CORNICE ELEMENTS (BRACKETS, FASCIA, TRIM BOARD, ETC.) ARE TO BE CLEANED AND REUSED TO THE GREATEST EXTENT POSSIBLE. ALL WOOD SHALL BE SCRAPPED OF ALL FRIABLE EXISTING PAINT, SURFACED TO BE PRIMED AND REPAINTED. ELEMENTS WILL BE REPAIRED OR REPLACED UTILIZING CUSTOM PROFILES TO MATCH EXISTING CONDITIONS.
- F. ALL EXISTING BUILT-UP ROOFING SYSTEMS & ASSEMBLIES SHALL BE REPLACED WITH NEW INSULATED TPO ROOF. NEW FLASHING AND SHEET METAL TO REPLACE EXISTING.
- G. WHERE NOTED, REMOVE EXTERIOR APPLIED PAINT WITH METHODS APPROVED BY THE NPS. IF UNABLE TO ACHIEVE WITHOUT DAMAGING EXISTING MASONRY, AN APPROPRIATE OPAQUE MASONRY SEALER WILL BE USED IN THOSE AREAS THAT HAVE ALREADY BEEN PAINTED.

KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL01 EXISTING OPENING TO BE CONVERTED TO A WINDOW OPENING TO MATCH HISTORIC WINDOW PROFILE. REFER TO PROPOSED PLANS & ELEVATIONS.
- EL04 EXISTING OPENING TO RECEIVE MASONRY INFILL SET BACK WITH A 1" EXTERIOR REVEAL. NEW MASONRY INFILL TO MATCH EXISTING ADJACENT CONDITIONS.
- EL07 NEW ELEVATOR OVER-RUN.
- EL08 NEW DOOR TO BE INSTALLED IN EXISTING OPENING. REFER TO DOOR SCHEDULE.
- EL12 NEW WALL PANEL SYSTEM IN EXISTING OPENING.
- EL13 NEW EXTERIOR MASONRY ADDITION. NEW MASONRY TO MATCH EXISTING ADJACENT CONDITIONS. NEW STANDING SEAM ROOF TO BE SET LOWER THAN EXISTING ROOF LINE.
- EL14 NEW OPENING TO RECEIVE NEW WINDOW TO MATCH EXISTING CONDITIONS.
- EL15 HISTORIC DOOR REPLICA TO BE PINNED IN CLOSED POSITION. WALL TO BE INSULATED AND FURRED AT INTERIOR.



© The Architectural Team, Inc.
 50 Commandant's Way at Admiral's Hill
 Chelsea MA 02150
 O 617.889.440
 F 617.884.432
 architecturalteam.com

Consultant:

Revision:

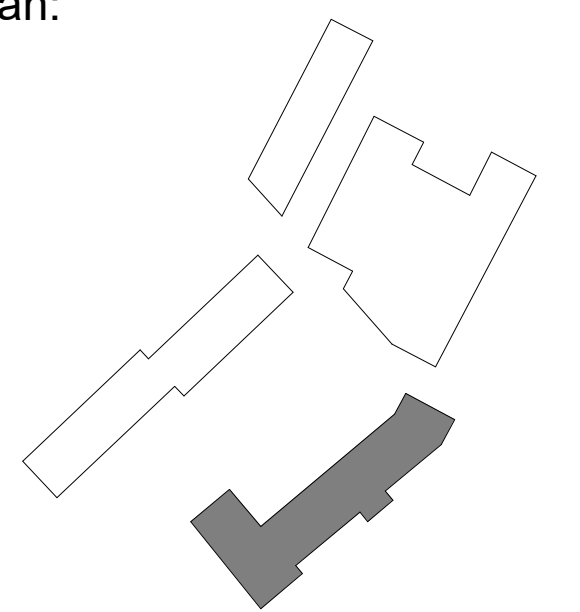
Architect of Record:

Drawn: EH

Checked: Checker

Scale: As indicated

Key Plan:



Project Name:

LaGrange Mill Lofts

50 LAGRANGE ST
 WORCESTER, MA 01608

Sheet Name:

BLDG 4 -
 EXTERIOR
 ELEVATIONS

Project Number:

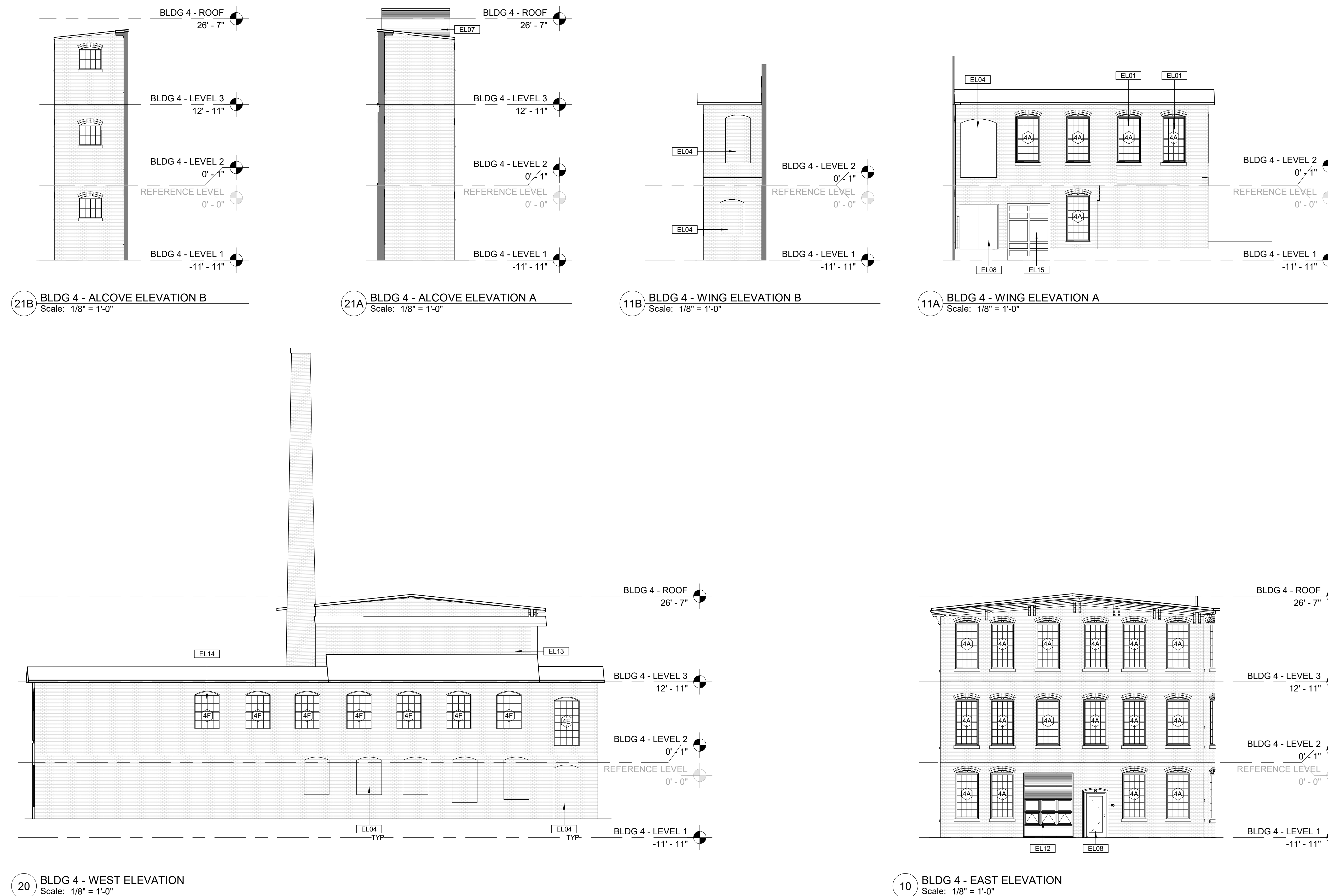
20094.00

Issue Date:

JUNE 30, 2021

Sheet Number:

A4.4.02



	BLDG 1	BLDG 2	BLDG 3	BLDG 4	TOTAL	% OF UNITS
STUDIO	3	-	2	1	6	10%
1 BED	5	-	4	4	13	25%
1 BED + DEN	-	-	1	-	1	
1 BED / 1.5 BATH		1	-	-	1	
1 BED + DEN (1.5 BATH)		1	-	-	1	
2 BED / 1 BATH	7	-	3	2	12	54%
2 BED / 1.5 BATH	-	1	-	-	1	
2 BED / 2 BATH	1	1	8	7	17	
2 BED + DEN (1.5 BATH)	-	4	-	-	4	
3 BED / 2 BATH	-	-	4	2	6	11%
3 BED + DEN (2.5 BATH)	-	-	-	1	1	
TOTAL	16	8	22	17	63	